

Application of Charles H Frankenbach III ETUX and Lauren B Frankenbach whose property is located at 47 Clinton Ave and further identified as Assessor Plat 9, Lot 364 for a Variance from Article 3, Section 82-302 to construct a second floor over an existing first floor which will be 4'5" from the north side of the property instead of the required 7 feet. The second floor will follow the lines of the current structure and not change the distance of the house to the property line. The property is in zone R-8 which is 5800 sq. ft.

TOWN OF JAMESTOWN
ZONING BOARD OF REVIEW

Application for Exception or Variation under the Zoning Ordinance

Zoning Board of Review;

Jamestown, R. I.

Date 8-19-23

Gentlemen:

The undersigned hereby applies to the Zoning Board of Review for an exception or a variation in the application of the provisions or regulations of the zoning ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant Lauren B. Frankenbach Address 11 Interlaken Rd. Lakeville, CT 06039
Charles H. Frankenbach III EUX
Owner same Address _____

Lessee _____ Address _____

1. Location of premises: No. 47 Clinton Ave. Street

2. Assessor's Plat 9 Lot 364

3. Dimensions of lot: frontage 50 ft. depth 103'8" ft. Area 5800 sq. ft.

4. Zoning Districts in which premises are located: Use R8 Area 8000 Height 35'

5. How long have you owned above premises? 26 years

6. Is there a building on the premises at present? yes

7. Size of existing building 1152 sq. ft. without deck & porch

Size of proposed building or alteration 1552 with deck & porch
480 sq. ft. second floor added over existing first floor

8. Distance of proposed bldg. or alteration from lot lines:

front 27' +/- rear 40' +/- left side 4'5" +/- right side 21.7" +/-

9. Present use of premises: single family home - rental

10. Proposed use of premises: single family home - permanent residence

Location of septic tank & well on lot Ø

11. Give extent of proposed alterations Add second floor over existing 1st floor. Addition will include primary bedroom bathroom and walk in closet. Addition will follow the existing lines of the house

12. Number of families for which building is to be arranged: 1

13. Have you submitted plans for above to Inspector of Buildings? no

Has the Inspector of Buildings refused a permit? no

14. Provision or regulation of Zoning Ordinance or State Enabling Act under which application for exception or variance is made:

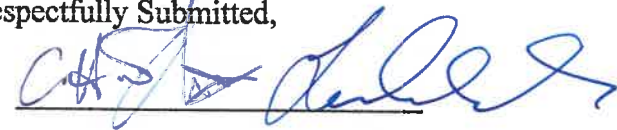
Article 3 Section 82-302 requiring the principal building set back be 7' from side property line. Existing building is 4'5" +/- from the property line. Second floor addition will follow the lines of the existing building.

15. State the grounds for exception or variation in this case:

The hardship is related to the existing location of the building which we cannot change to meet the 7' guidelines.

Respectfully Submitted,

Signature



Address

11 Interlaken Rd

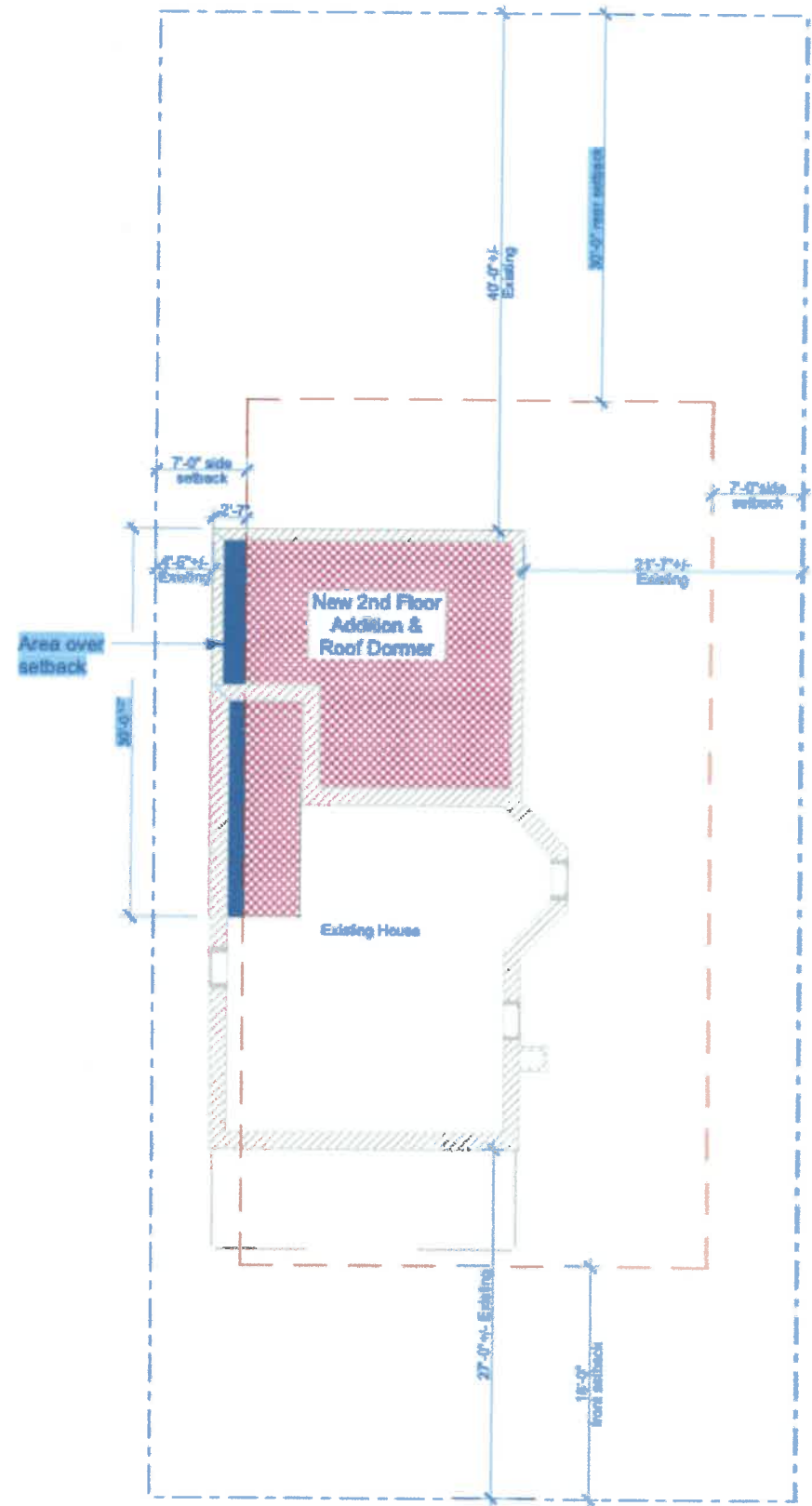
Lakeville, CT 06039

Telephone No.

860-318-1170

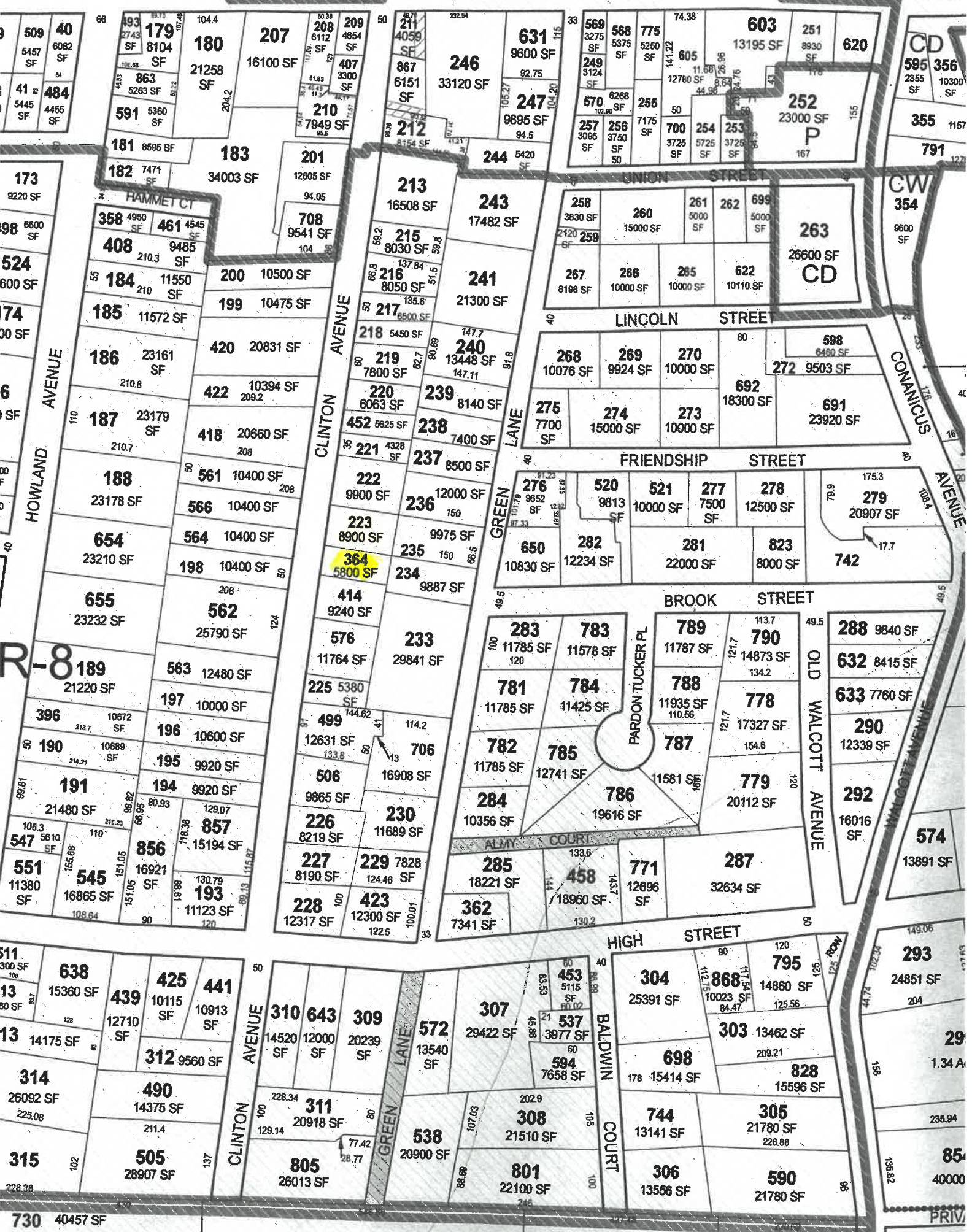
860-671-9350

NOTE: A LOCATION PLAN AND SKETCH AND DRAWINGS NECESSARY TO GIVE FULL INFORMATION MUST BE FILED WITH THE APPLICATION.



1 Site Plan
 SCALE 1" = 10'

NARRAGANSETT AVENUE



730 40457 SF

PRIV

AMIOT PAUL A & ELIZABETH
54 CLARKE STREET
JAMESTOWN, RI 02835

MCBRIDE ROBERT O & KINNE
55 MAIN STREET UNIT 2
SOUTHBOROUGH, MA 01772

THE KAPLAN EGGER LIVING T
400 EAST 56TH ST #14B
NEW YORK, NY 10022

BEMBENEK THOMAS J ET
BEMBENEK GAIL A T
42 GREEN LANE
JAMESTOWN, RI 02835

MULLINS WILLIAM E &
BANKER LESLIE G
30 SUTTON PLACE LOBBY A
NEW YORK, NY 10022-2383

TROCKI KRISTINE S
36 MAPLE AVENUE
JAMESTOWN, RI 02835-1110

BEYE ROY F ET
BEYE NANCY A
54 CLINTON AVENUE
JAMESTOWN, RI 02835

NORTH TERRI A ET
NORTH CHARLES SCHURMAN
49 CLINTON AVENUE
JAMESTOWN, RI 02835

BRYER JAMES R JR
55 CLINTON AVENUE
JAMESTOWN, RI 02835

PARKER GARY C ET
PARKER CHERYL L TRUSTEES
46 GREEN LANE
JAMESTOWN, RI 02835

FRANKENBACH CHARLES H III
FRANKENBACH LAUREN B
HOTCHKISS SCHOOL
11 INTERLAKEN ROAD
LAKEVILLE, CT 06039-2130

REED WINTHROP B III TRUST
GREEN LANE PROPERTY TRUST
600 WASHINGTON AVE STE 2500
ST LOUIS, MO 63101

GALLE AREK W & TRISTANA D
35 CLINTON AVENUE
JAMESTOWN, RI 02835

RODGERS ROBERT & ROBIN TR
57 CLINTON AVENUE
JAMESTOWN, RI 02835

GRISEVICH JUDY A TRUSTEE
36 CLINTON AVENUE
JAMESTOWN, RI 02835

RONCHIE FAMILY TRUST
C/O KEITH W RONCHIE TRUST
711 LAFAYETTE ROAD
NO KINGSTOWN, RI 02852

KALLFELZ ANDREW F ET
KALLFELZ JULIE A
56 GREEN LANE
JAMESTOWN, RI 02835

SOUTHERN MATTIE R TRUST
41 CLINTON AVENUE
JAMESTOWN, RI 02835

KELLEHER CATHERINE M
58 CLINTON AVENUE
JAMESTOWN, RI 02835

SOUTHERN VALERIE J
43 CLINTON AVENUE
JAMESTOWN, RI 02835

LABRIE KATHLEEN & POLLY B
50 CLINTON AVENUE
JAMESTOWN, RI 02835

STROUD PAUL V ET UX
BARBARA J TRUSTEES
44 CLINTON AVENUE
JAMESTOWN, RI 02835



Addition & Renovations

Charles and Lauren Frankenbach
47 Clinton Avenue
Jamestown RI

MARK	DATE	DESCRIPTION
LMC	4/8/21	Schematic Design (1st meeting)
LMC	5/12/21	Schematic Design FINAL
LMC	8/24/21	Schematic Design with Site Plan
LMC	7/12/21	Schematic Design & Structural
LMC	9/14/21	check set
LMC	9/15/21	Issued for Construction

CONSULTANTS:
Structural Engineer:
David Seymour - Professional Engineer
David E. Seymour Engineering, Inc.
20 Beane Vista Drive Scituate, RI 02852
401-295-5662

PROJECT NO: 0191
DATE: 9/15/2021
DRAWN BY: LMC

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SHEET TITLE
COVER SHEET





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LMC	7/1/22	Schematic Design & Structural
LMC	9/1/22	check set
LMC	9/15/22	Issued for Construction

CONSULTANTS:
Structural Engineer:
David Seymour - Professional Engineer
David E. Seymour Engineering, Inc.
20 Buena Vista Drive Saunderstown, RI 02852
401-295-5562

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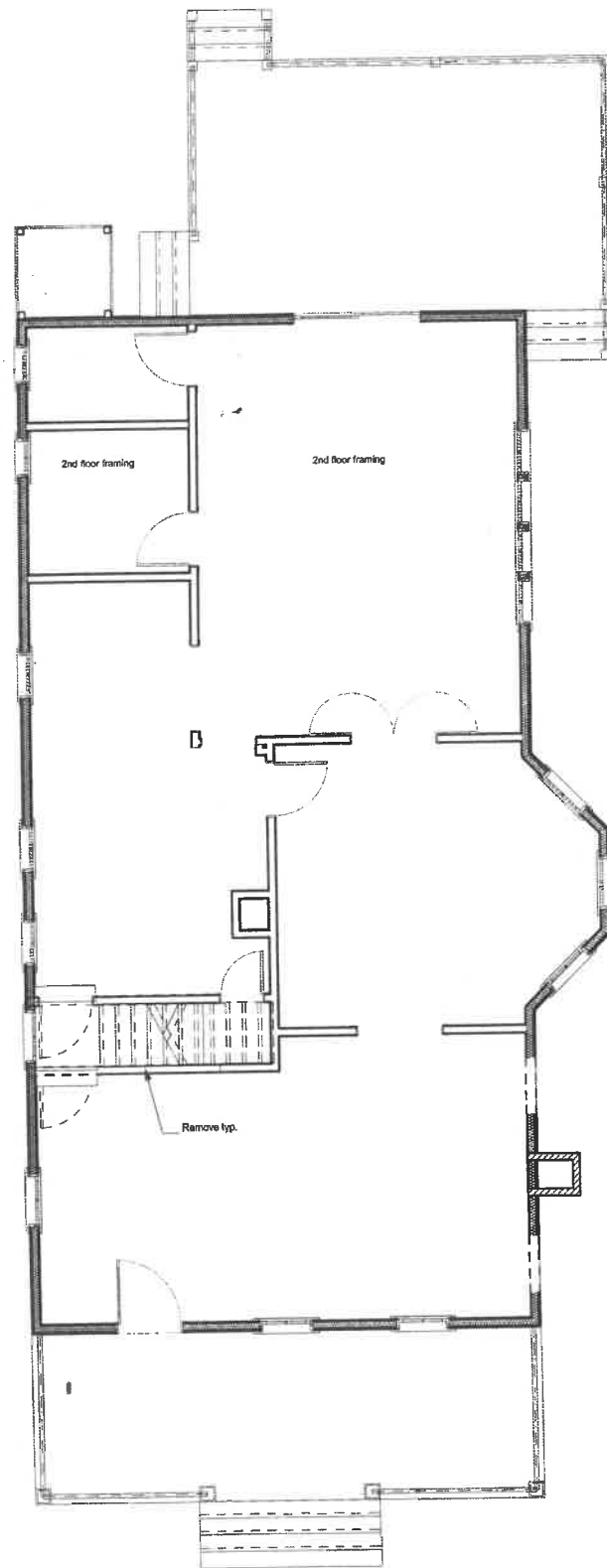
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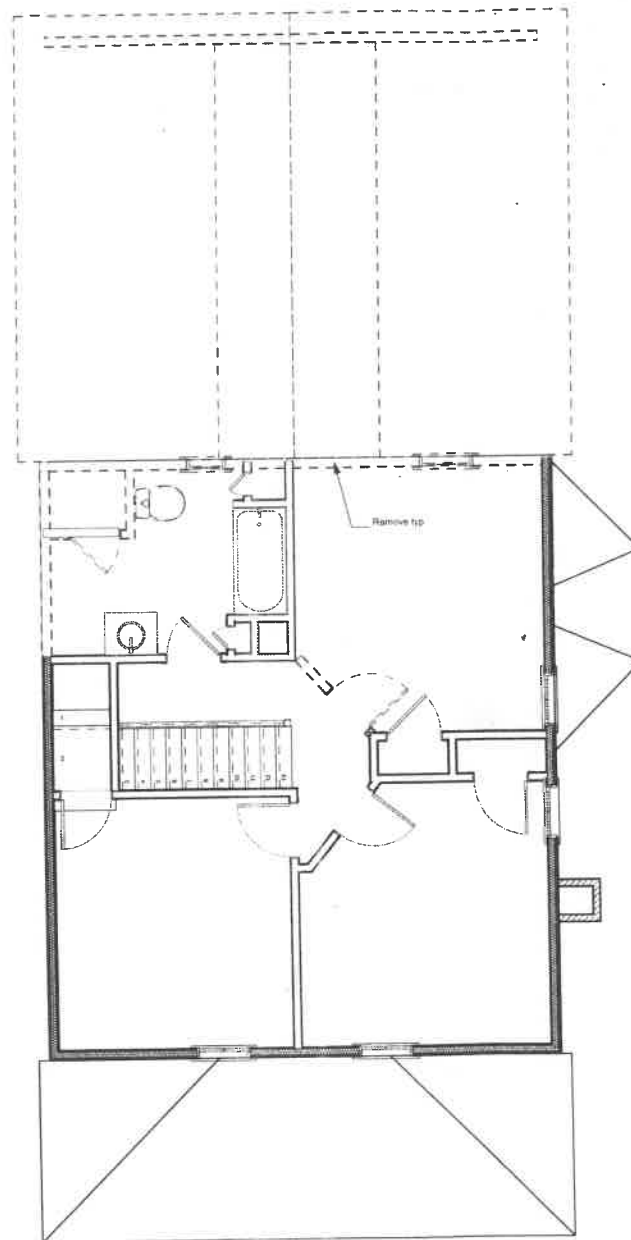
SHEET TITLE

DEMOLITION PLANS

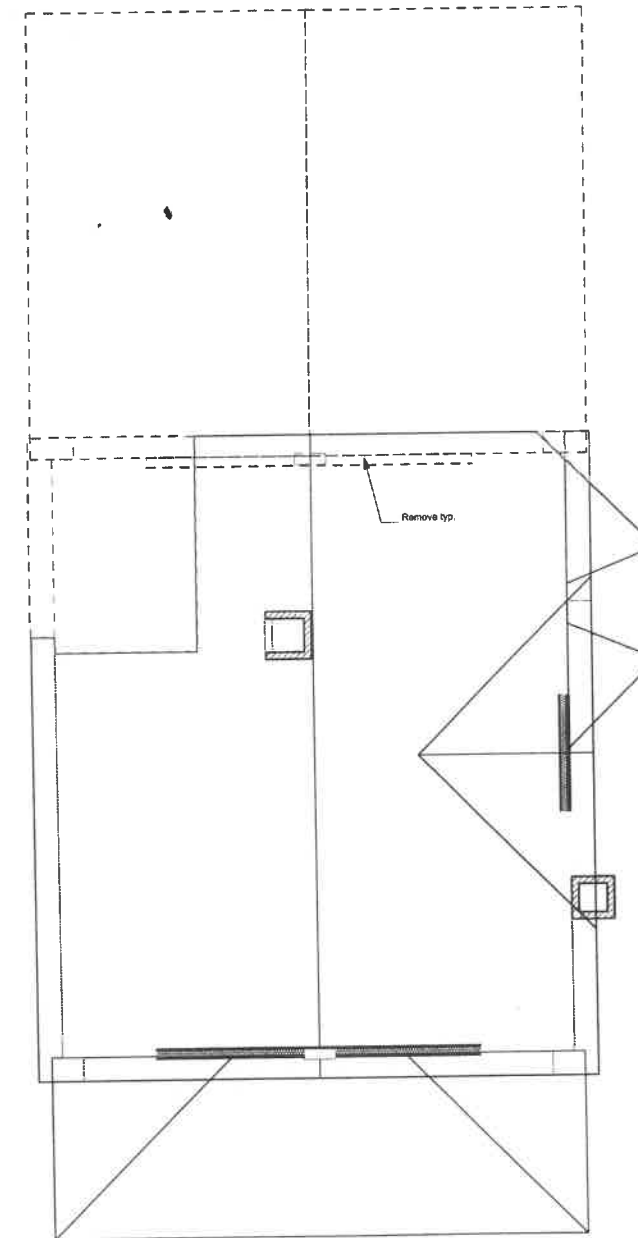
D-101



1 1st Floor Demo Plan
SCALE: 1/4" = 1'-0"



2 2nd Floor Demo Plan
SCALE: 1/4" = 1'-0"



3 Roof Demo Plan
SCALE: 1/4" = 1'-0"



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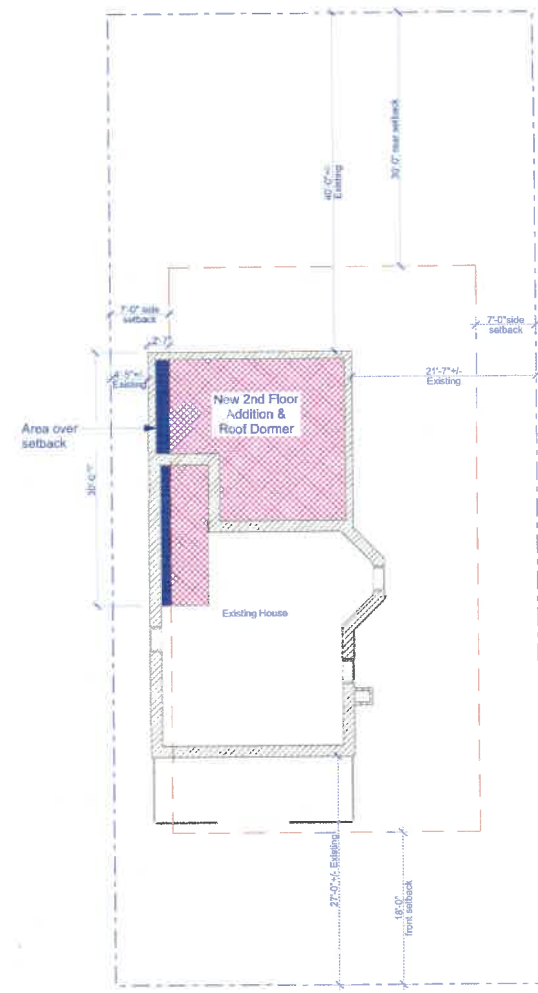
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LMC 1	2/1/21	Final Design (1st meeting)
LMC 2	5/1/21	Final Design FINAL
LMC 3	5/1/21	Final Design with Site Plan
LMC 4	7/1/21	Final Design & Structural
LMC 5	8/2/21	Final Design & Structural
LMC 6	8/3/21	Final Design & Structural
LMC 7	8/3/21	Final Design & Structural
LMC 8	8/3/21	Final Design & Structural
LMC 9	8/3/21	Final Design & Structural
LMC 10	8/3/21	Final Design & Structural
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LMC 100	8/3/21	Final Design & Structural

David S. ...
David E. ...
20 Blaine ...
401-395-...

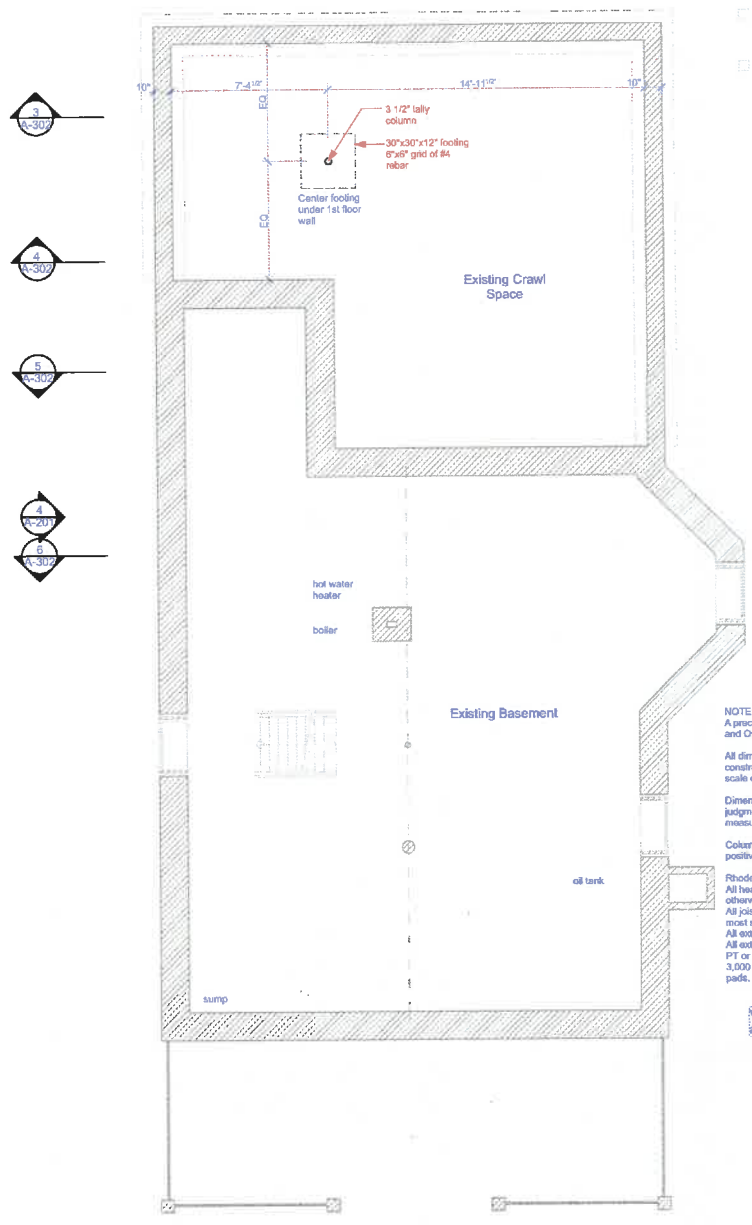
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DRAWN BY: LMC

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SITE PLAN, BASEMENT & FIRST FLOOR PLAN

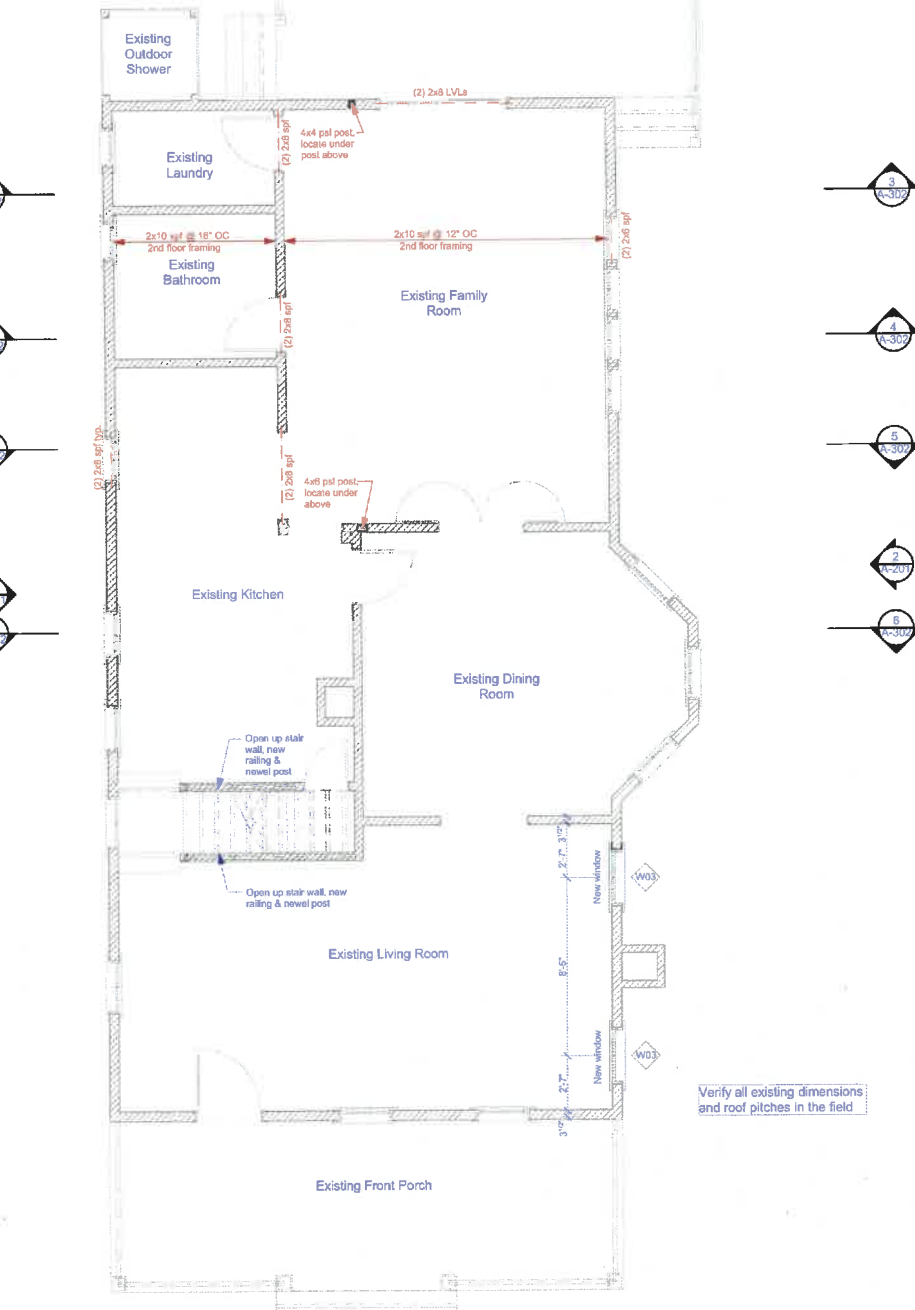


1 Site Plan
SCALE: 1" = 10'



1 Basement Plan
SCALE: 1/4" = 1'-0"

NOTE:
A preconstruction meeting with the Contractor, Architect and Owner is recommended.
All dimensions are to be verified in the field prior to construction and prior to ordering windows. Do not scale off the drawings.
Dimensions are to nearest 1/2". Contractor is to use best judgment during construction to adjust small measurements or contact the Architect.
Columns and posts are to be blocked through floors to positive bearing on foundation or beams below.
Rhode Island State Building Code SRC-2 shall apply. All headers to be sized by contractor/suppliers unless otherwise noted.
All joist blocking per code/industry specifications - use most stringent condition.
All exterior walls are 2x4 unless noted otherwise.
All exterior/lopped material to be appropriate grade PT or waterproofed.
3,000 psi (minimum) concrete @ 28 days for piers & pads.
Verify all existing dimensions and roof pitches in the field.



3 1st Floor Plan
SCALE: 1/4" = 1'-0"

Verify all existing dimensions and roof pitches in the field



Addition & Renovations

Charles and Lauren Frankenhach
47 Clinton Avenue
Jamestown RI

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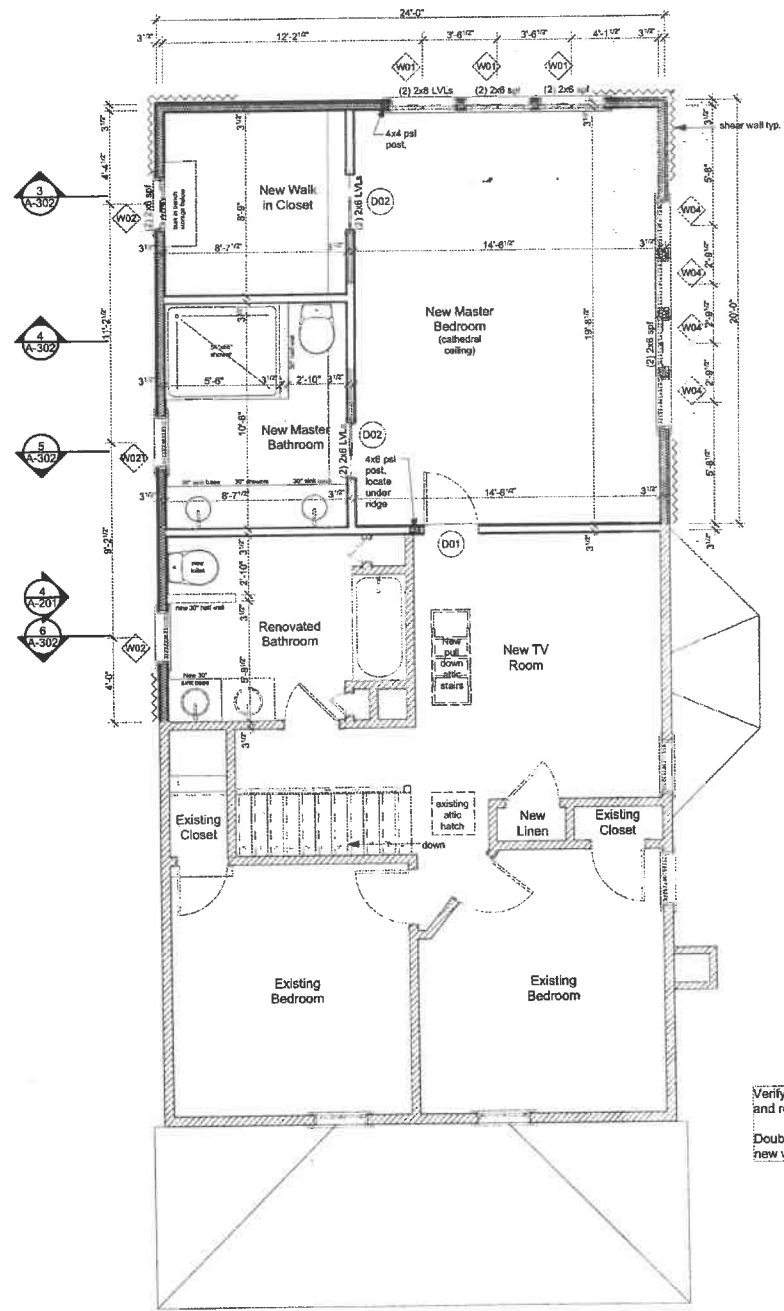
CONSULTANTS:
Structural Engineer:
David Seymour - Professional Engineer
David E. Seymour Engineering, Inc.
20 Bowers Vista Drive Sauratown, RI 02852
401-295-6582

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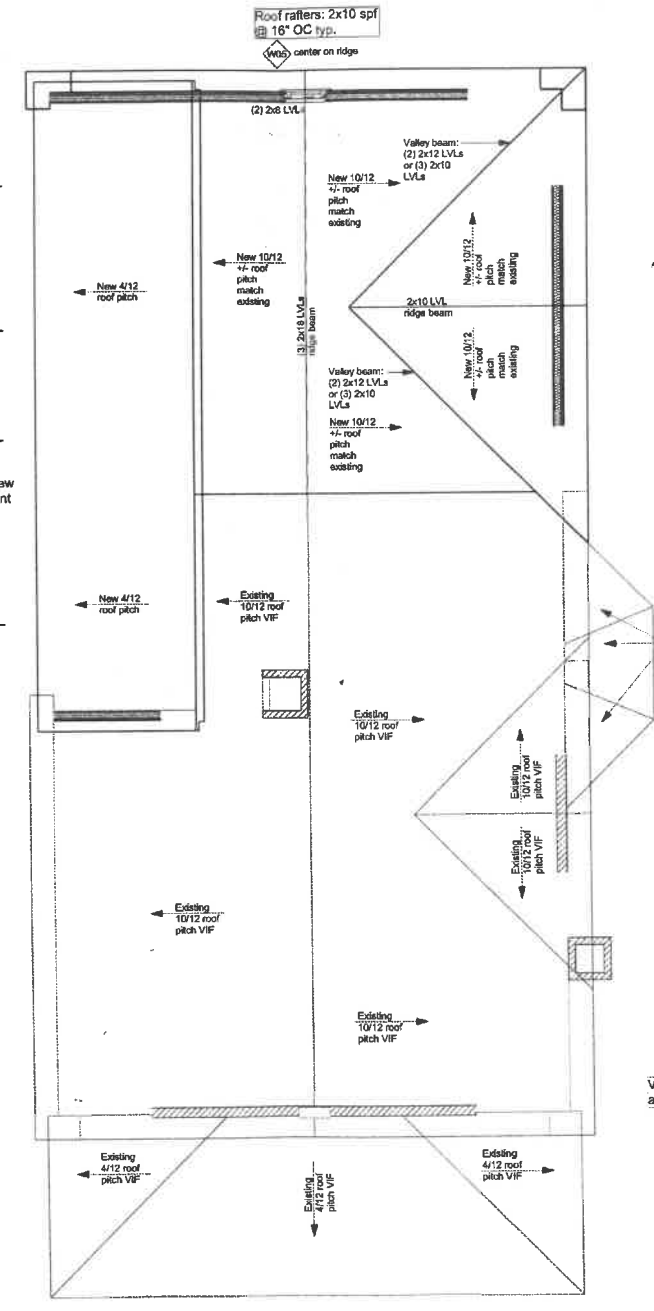
SHEET TITLE
SECOND FLOOR & ROOF PLAN and DOOR & WINDOW SCHEDULE

A-102



1 2nd Floor Plan
SCALE: 1/4" = 1'-0"

Verify all existing dimensions and roof pitches in the field
Double studs between all new windows



2 Roof Plan
SCALE: 1/4" = 1'-0"

Verify all existing dimensions and roof pitches in the field

Door Schedule

Quantity	2D Symbol	3D Front View	Nominal W x H Size	Remarks
1			2'-5 1/2" x 6'-8"	Interior Swinging Door, match existing door style
1			2'-4 1/2" x 6'-8"	Interior Pocket Door, match existing door style

Window Schedule

ID	Quantity	2D Symbol	3D Front View	Nominal W x H Size	Head Height	Remarks
W01	1			3'-2" x 5'-0"	6'-8"	Double Hung
W02	1			2'-4 1/2" x 10'-0"	6'-8"	Double Hung
W02T	1			2'-4 1/2" x 10'-0"	6'-8"	Double Hung, tempered glass
W03	1			2'-4" x 2'-8"	7'-0"	Awning, match existing head height on 1st floor
W04	1			2'-5" x 2'-5"	6'-8"	Awning
W05	1			2'-0" x 2'-0"	8'-0"	Fixed



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401-286-5562

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SHEET TITLE
ELEVATIONS

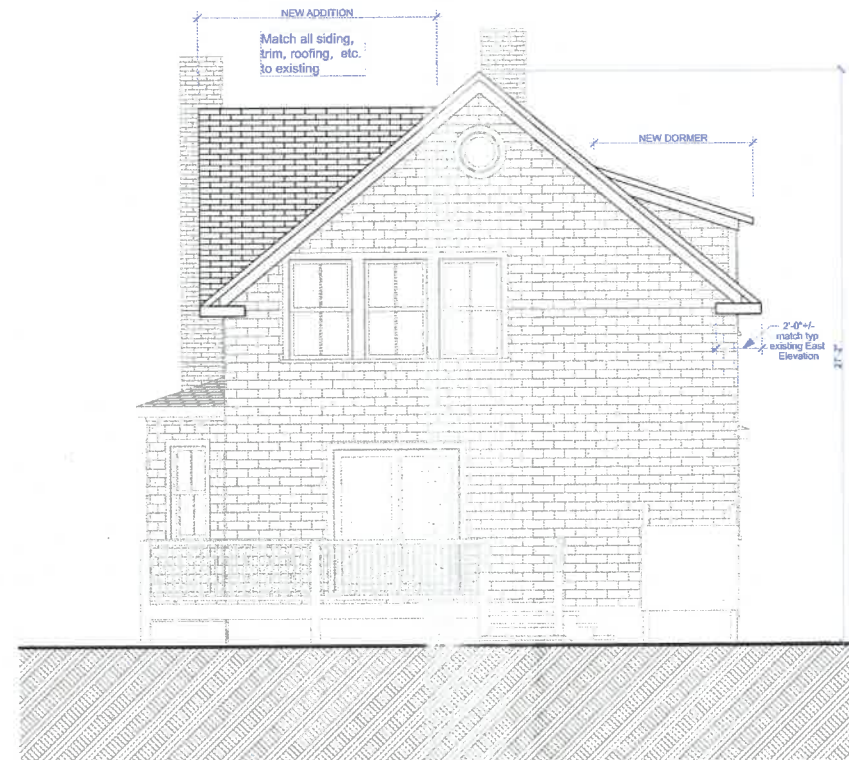
A-201



1 West Elevation
SCALE: 1/4" = 1'-0"



2 South Elevation
SCALE: 1/4" = 1'-0"



3 East Elevation
SCALE: 1/4" = 1'-0"



4 North Elevation
SCALE: 1/4" = 1'-0"





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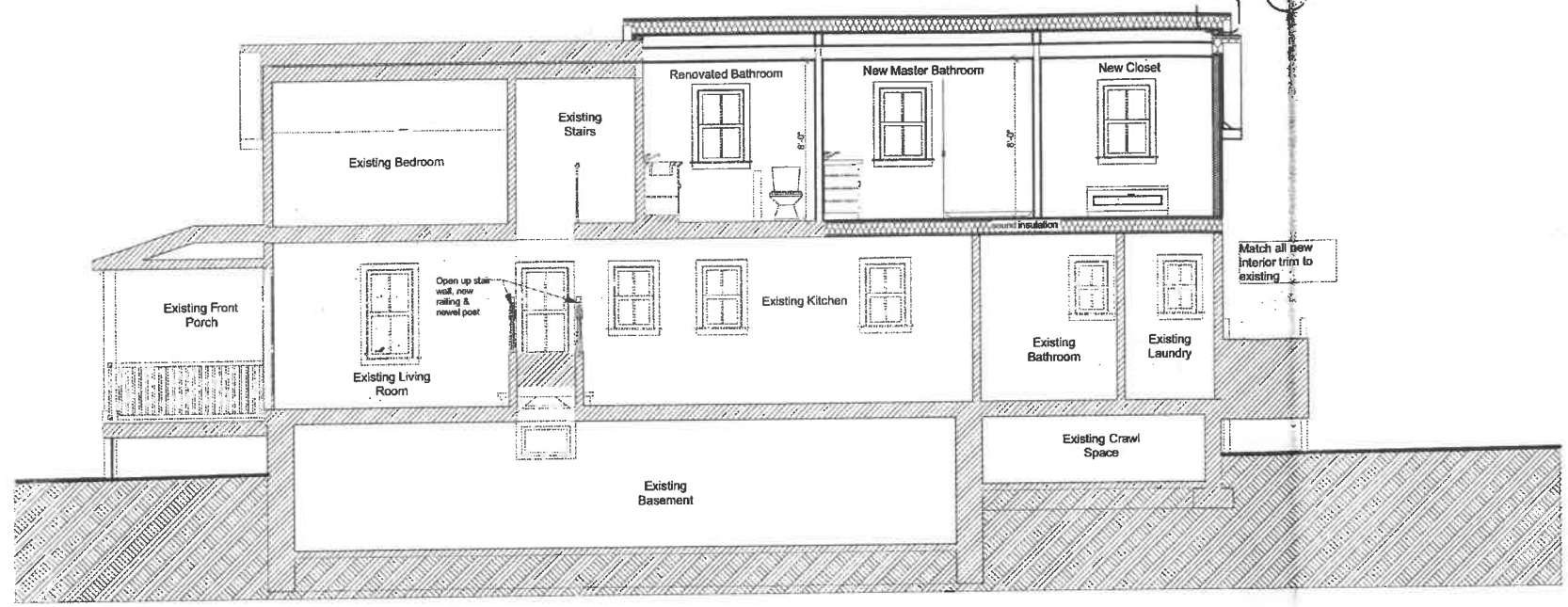
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Structural Engineer:
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20 Bona Vista Drive Scituate, RI 02882
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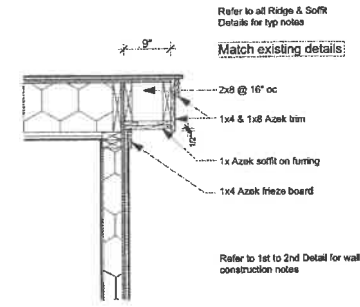
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SHEET TITLE
SECTIONS & DETAILS

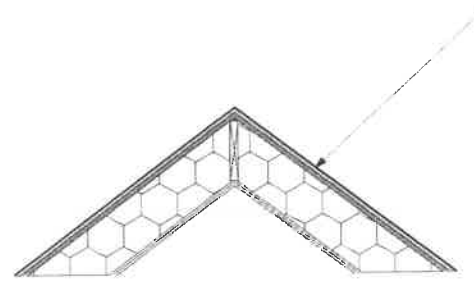
A-301



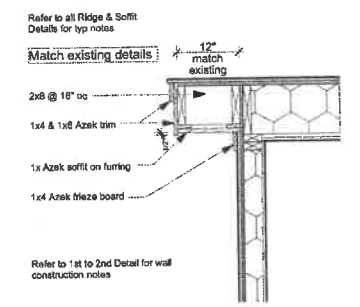
1 Section A-A Master Bathroom & Closet
SCALE: 1/4" = 1'-0"



2 D-01 Rake @ Dormer
SCALE: 3/4" = 1'-0"

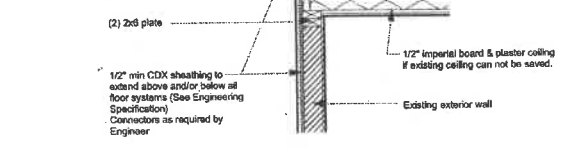


3 D-04 Ridge
SCALE: 3/4" = 1'-0"



4 D-03 Typ. Rake
SCALE: 3/4" = 1'-0"

Wall Construction Exterior to Interior - Typical
Siding (Match existing shingles)
Typical housewrap (Alternate siding: Home Slider installed as per manufacturer's instructions)
Housewrap layers are to be overlapped shingle fashion, and taped sealed so that water drains down and off of the wall.
1/2" structural CDX plyform sheathing min (Alternate pricing: 1/2" Advantech sheathing) Replace sheathing if necessary on existing house.
Sheathing shall be nailed as per Engineering Specifications.
Alternate pricing: 1/2" Zip System R-Sheathing (R-6) insulated sheathing.
Special attention shall be paid to Engineering Specifications for framing and nailing of sheathing at shear wall locations and floor levels.
(2) 2x4 SFP No 2 cap plate
Connect stud to Cap plate to rather as called for in Engineering Specifications.
2x4 studs @ 16" oc with closed cell insulation (R-21) R-20 min insulation required by building code.
Insulation is to totally fill all cavities, including around electrical receptacles and other wall penetrations.
1/2" Imperial board & plaster. Board is to be caulked, gourd or gasketed to cap plates & shoes to create air barrier.



5 D-02 1st to 2nd
SCALE: 3/4" = 1'-0"



6 Section B-B Master Bedroom
SCALE: 1/4" = 1'-0"

Roof Construction - typical
Architectural roof shingles (match existing - Owner to choose), meeting classification requirements for 120 mph wind load, storm nailed & with extra adhesive strip, 50 year warranty.
Roofing underlayment, applied as per code in overlapping layers, nailed with corrosion resistant fasteners.
5/8" CDX sheathing, nailed as per Engineering Specifications.
Connectors as called for in Engineering Spec.
Ridge Beam & rafters or trusses as called for in Engineering Spec.
Closed cell insulation (R-21) or batt insulation. Insulation is to totally fill all cavities, including around lighting and other penetrations.
R-38 min by building code.
Refer to Structural Drawings for roof trusses or ridge beam & rafter sizing.
Ridge vent is required only if insulation is fiberglass.

Floor Construction
Flooring as specified for the room by Owner.
3/4" T&G CDX plyform subfloor.
Rim joist size & type to correspond with floor joists.
Floor joists spaced & sized as called for on Structural Drawings.
Completely fill with sound insulation.



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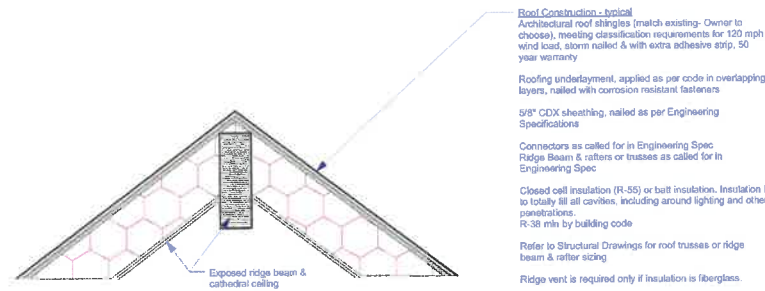
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DATE: 9/15/2021
DRAWN BY: LMC

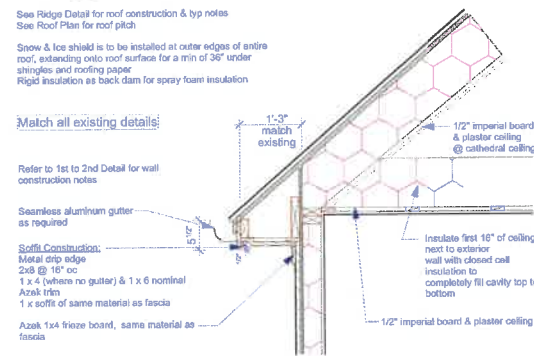
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SHEET TITLE
SECTIONS & DETAILS

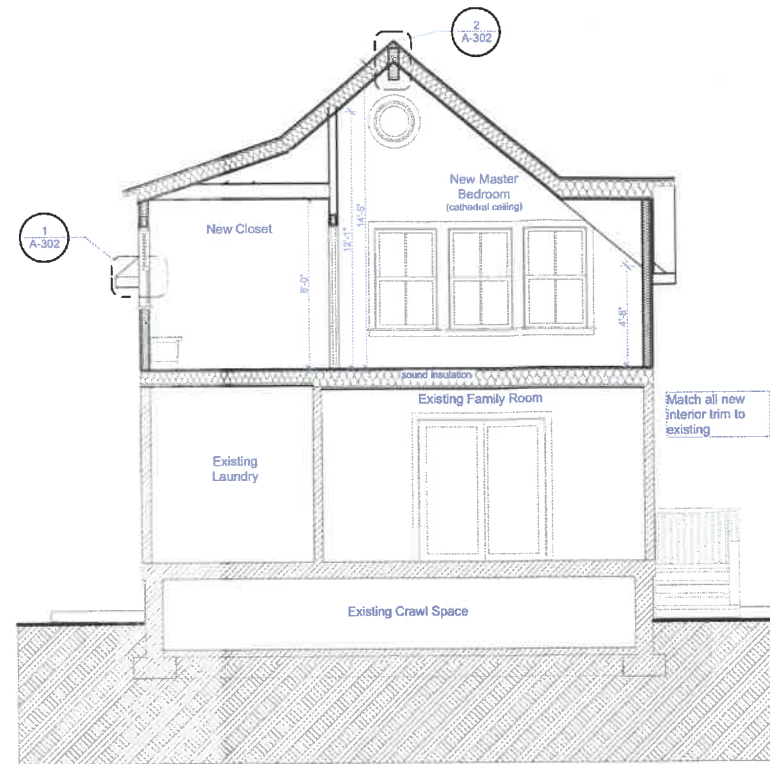
A-302



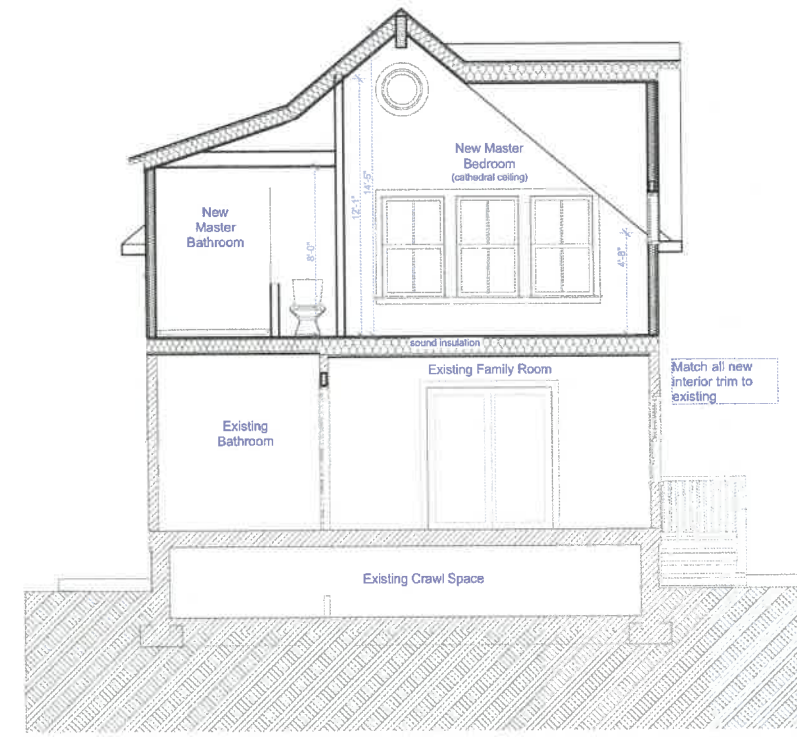
2 D-06 Ridge at Cathedral Ceiling
SCALE: 3/4" = 1'-0"



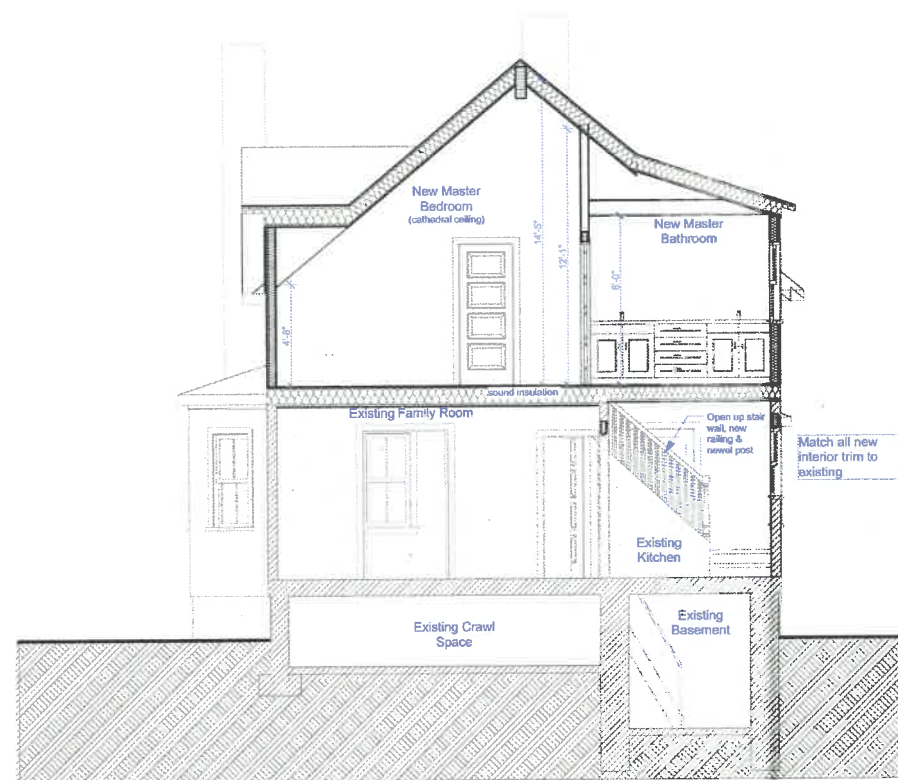
1 D-05 Typ. Soffit
SCALE: 3/4" = 1'-0"



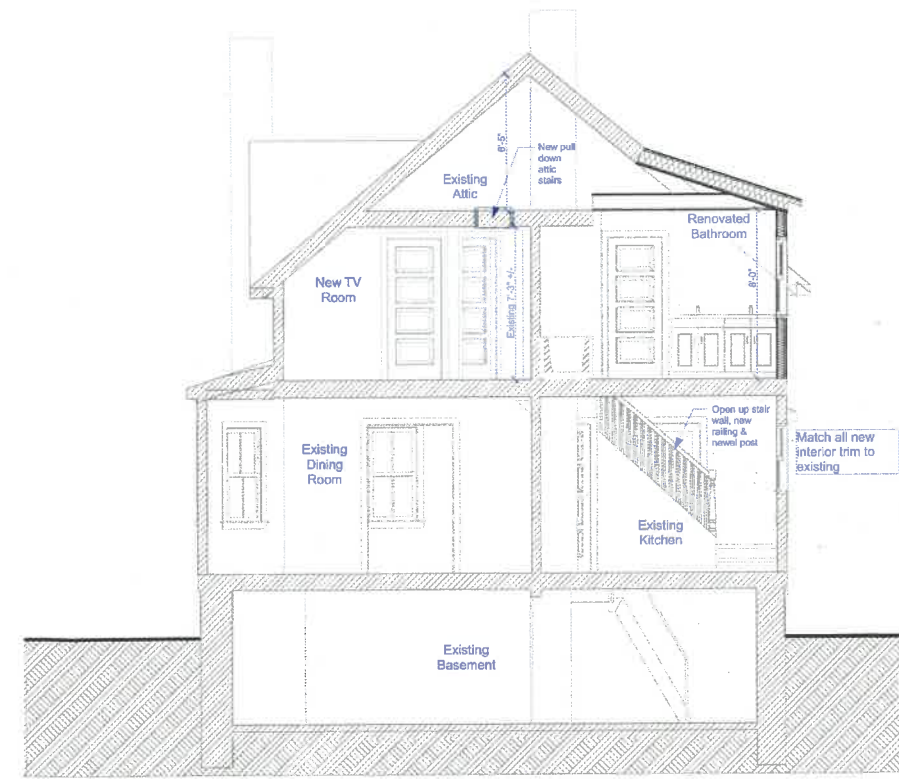
3 Section C-C Master Bedroom & Closet
SCALE: 1/4" = 1'-0"



4 Section D-D Master Bedroom & Bathroom
SCALE: 1/4" = 1'-0"



5 Section E-E Master Bedroom & Bathroom
SCALE: 1/4" = 1'-0"



6 Section F-F TV Room & Renovated Bathroom
SCALE: 1/4" = 1'-0"