

TOWN OF JAMESTOWN  
ZONING BOARD OF REVIEW

**Application for Exception or Variation under the Zoning Ordinance**

Zoning Board of Review;

Jamestown, R. I.

Date May 30, 2023

Gentlemen:

The undersigned hereby applies to the Zoning Board of Review for an exception or a variation in the application of the provisions or regulations of the zoning ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant Gregory J. Pawlina Address 45 Meadowalnd Dr N. Kingstown, RI  
02852

Owner Matthew T. Lyons Address 17 Ocean Ave. Jamestown, RI 02835

Lessee N/A Address \_\_\_\_\_

1. Location of premises: No. 17 Ocean Ave., Jamestown, RI Street

2. Assessor's Plat 8 Lot 489

3. Dimensions of lot: frontage 44' ft. depth 176' ft. Area 7744 sq. ft.

4. Zoning Districts in which premises are located: Use R20 Area 20,000 Height 25' max

5. How long have you owned above premises? 30 years

6. Is there a building on the premises at present? yes

7. Size of existing building 14' x 31'

Size of proposed building or alteration 14' x 31'

8. Distance of proposed bldg. or alteration from lot lines:

front +/-62' rear +/-80' left side +/-2.5' \* right side +/-27' \* +/-0.5'

9. Present use of premises: garage

10. Proposed use of premises: garage

Location of septic tank & well on lot public sewer & water

11. Give extent of proposed alterations Remove and dispose existing garage.

Removing shrubs and fence as needed. Construct new garage in existing footprint and install retaining wall to facilitate proper drainage.  
Re-install fence, shrubs and driveway as needed.

12. Number of families for which building is to be arranged: 1

13. Have you submitted plans for above to Inspector of Buildings? NO

Has the Inspector of Buildings refused a permit? The inspector advised a variance is required

14. Provision or regulation of Zoning Ordinance or State Enabling Act under which application for exception or variance is made:

Article 3, Section 82-302, District Dimensional Regulations

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

15. State the grounds for exception or variation in this case:

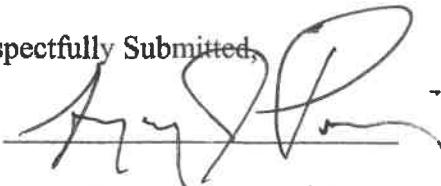
The existing structure is grand-fathered. The lot size will not allow a reasonable conforming location as vehicle access would not be possible.

SEE ATTACHED SHEET: ADDITIONAL POINTS

\_\_\_\_\_  
\_\_\_\_\_

Respectfully Submitted,

Signature



Address

Gregory J Pawlina  
45 Meadowland Dr  
North Kingstown, RI 02852

Telephone No. 401-743-2338

**NOTE: A LOCATION PLAN AND SKETCH AND DRAWINGS NECESSARY TO GIVE FULL INFORMATION MUST BE FILED WITH THE APPLICATION.**

## **ADDITIONAL POINTS**

17 Ocean Ave, Jamestown, RI 02835 garage variance

Points for allowing tear down and rebuild:

- 1 Current structure is a non-conforming use grand-fathered in when zoning changes were instituted.
- 2 Current foundation failing.
- 3 Although structure is sound, it is no longer plumb and true as the foundation has moved.
- 4 Current garage door opening is unusually low
- 5 Existing structure does not meet current building codes
- 6 Relocating structure would be problematic as vehicle access would be near impossible
- 7 A rebuild would meet current building codes
- 8 Current floor elevation creates an access problem with the existing driveway. The driveway grade cannot be altered at the house foundation due to cover requirements that creates an elevation change that can potentially cause a vehicle to "bottom out" at the change in existing driveway grade making the garage difficult to access.
- 9 As the existing garage setback is not uniform along the side line (2.5' at front and .5' at rear), a rebuild could, at the request of the Zoning Board, be rotated slightly to make the setback a uniform 2.5' without causing access issues. This rotation would assist in lessening intrusion on neighbor's property during construction
- 10 A teardown and rebuild would allow less intrusion to the southern neighbor's property during construction as equipment access would be less cumbersome and most work could be done from lot 489 side
- 11 Although, jacking the current structure and installing a foundation beneath is possible, the risks associated with working below a jacked structure are significantly higher than working in the open with no structure above the work.
- 12 Water currently draining to neighbor's property from the existing driveway could then be diverted (with the construction of a low retaining wall, shown on site plans) to re-installed driveway drain which would allow water to flow through the yard and exit at the rear as it originally exited.

**A.R.C.H. Service, LLC**  
RI Registration #2143  
Gregory Pawlina  
45 Meadowland Drive  
North Kingstown, RI 02852  
401-743-2338

SAMPLE ZONING ADVERTISEMENT  
MUST BE FILLED OUT BY THE APPLICANT

Application of Matthew T. Lyons whose

property is located at 17 Ocean Ave. Jamestown, RI 02835, and further

identified as Tax Assessor's Plat 8, Lot 489 for a Variance

from Article 3, Section 82-302, District dimensional Regulations

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to Remove existing non-conforming garage and foundation and install new foundation and garage in the exact same footprint. Construct a retaining wall as shown to handle drainage.

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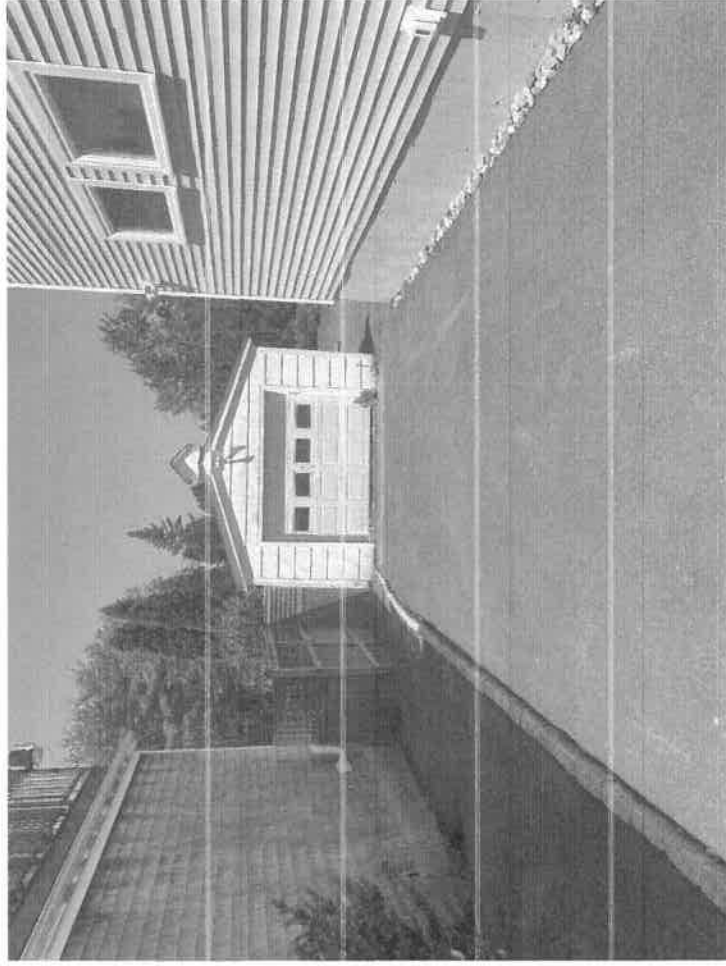
Said property is located in a R20 zone and contains 7744 square feet.

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**HOW TO WRITE YOUR AD:**

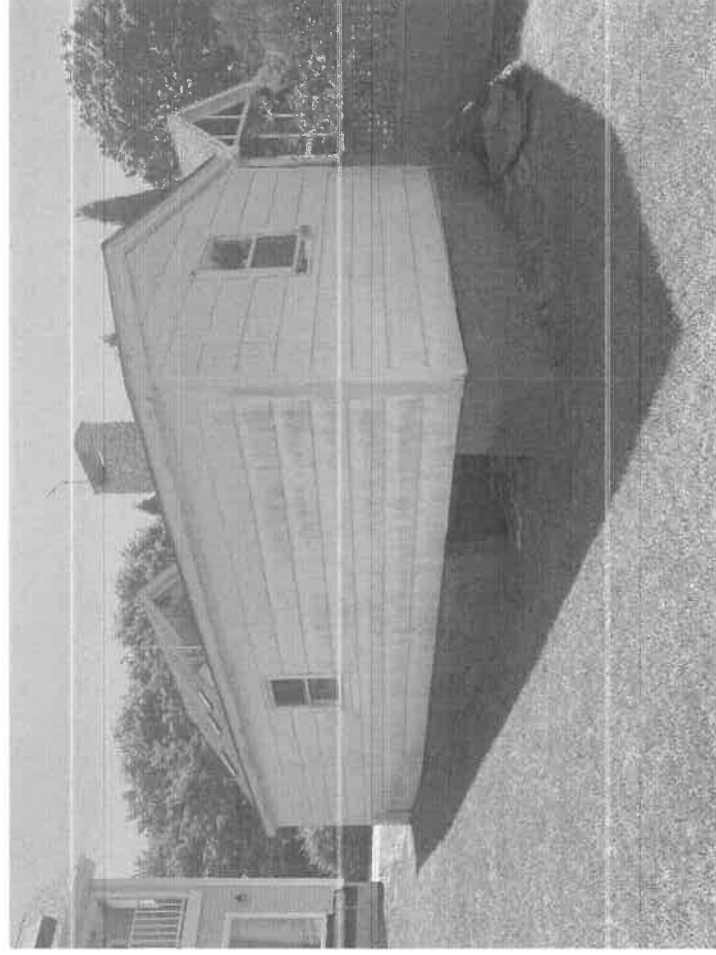
Name of owner must be advertised exactly as it appears on the most recent deed for the property. If the applicant's name differs from the owner, the ad must read: "Application of John R. Smith et ux Mary, (Jane L. Doe, owner), whose property...etc." The exact street address must be included in the advertisement, as well as the Tax Assessor's Plat and Lot numbers. Cross out "Variance" or "Special Use Permit" if one does not apply to what you are seeking. List the exact Article(s) and Section(s) numbers from the Zoning Ordinance from which you are seeking relief, followed by the title of the section as it appears in the Ordinance. Then briefly describe what you wish to do: "to construct a tool shed five feet from the side lot line instead of the required ten feet". List what zone your property is in: R8, R20, R40, RR80, RR200, CL, CD, CW or OS. Finally, enter the total acreage or square footage of your lot, crossing out the term that does not apply: acres or square feet.



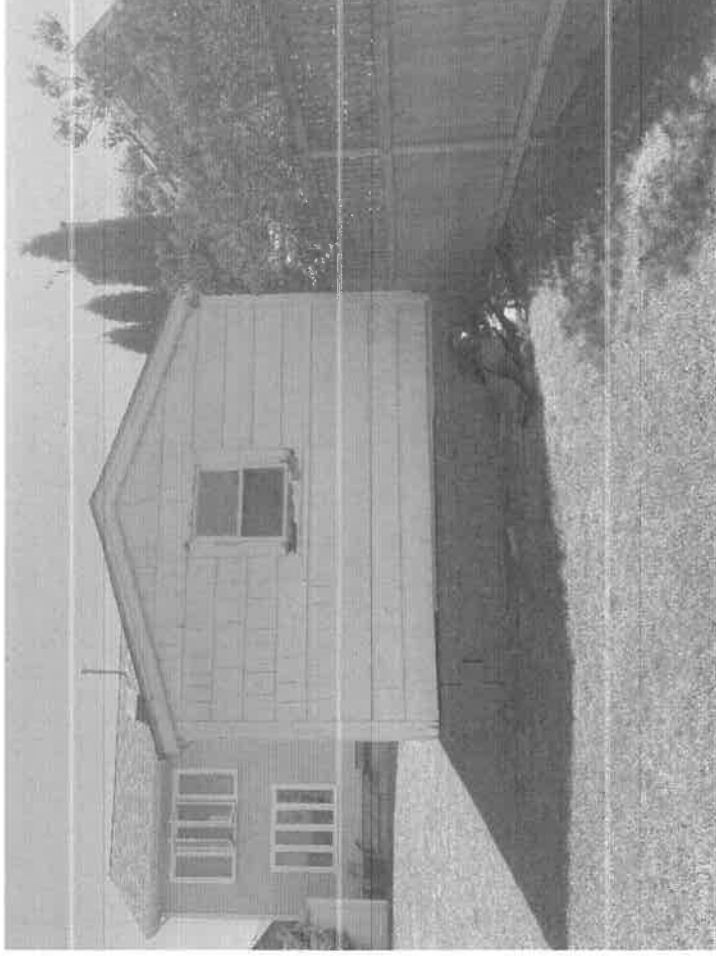
EAST ELEVATION



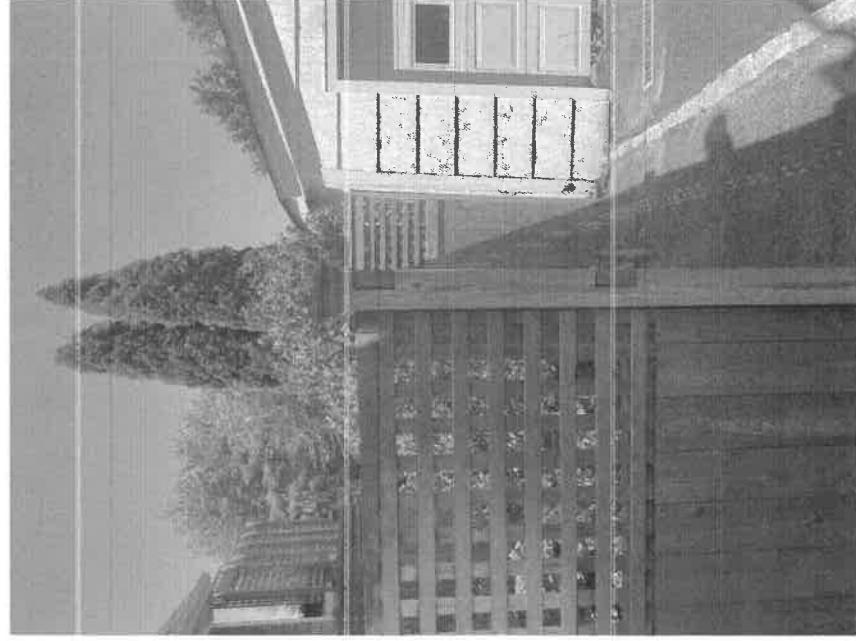
NORTH ELEVATION



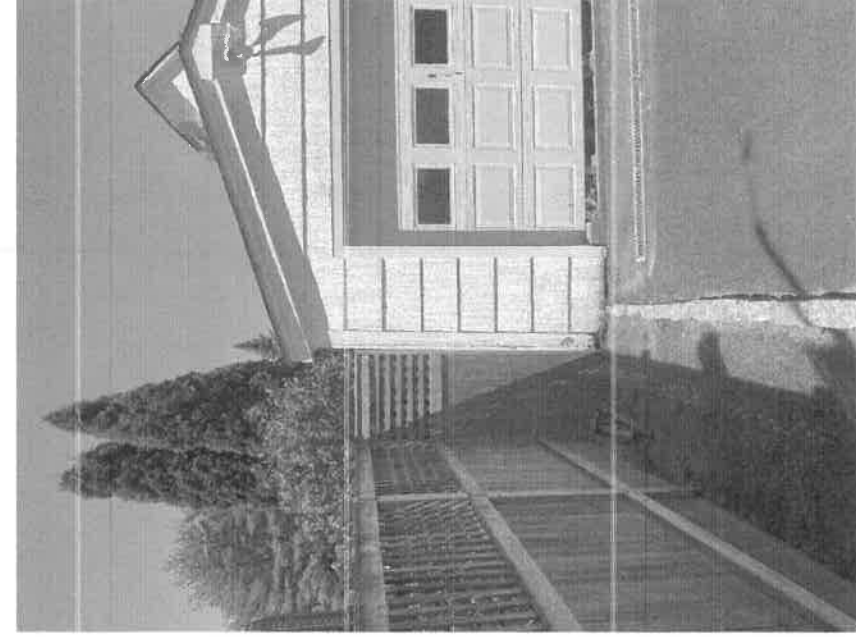
NORTH & WEST ELEVATION



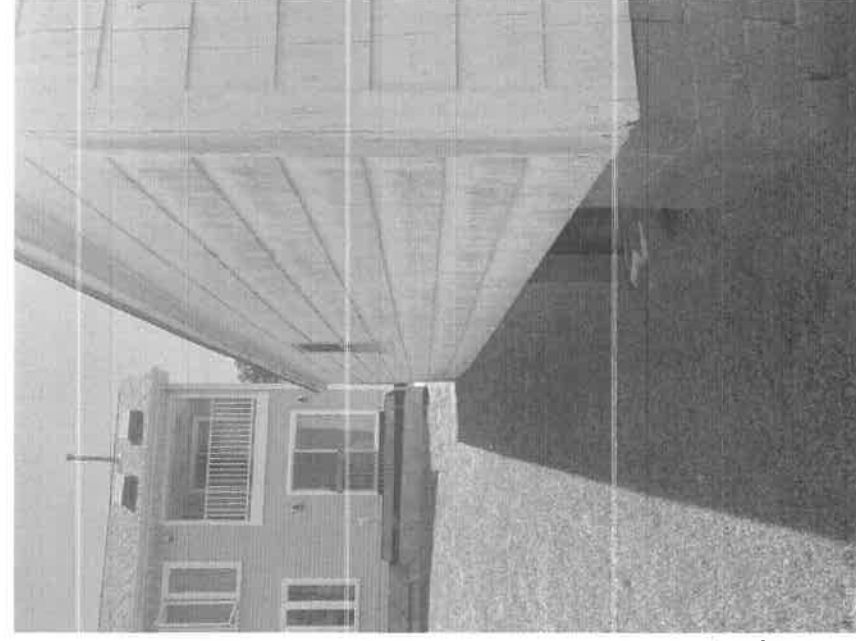
WEST ELEVATION



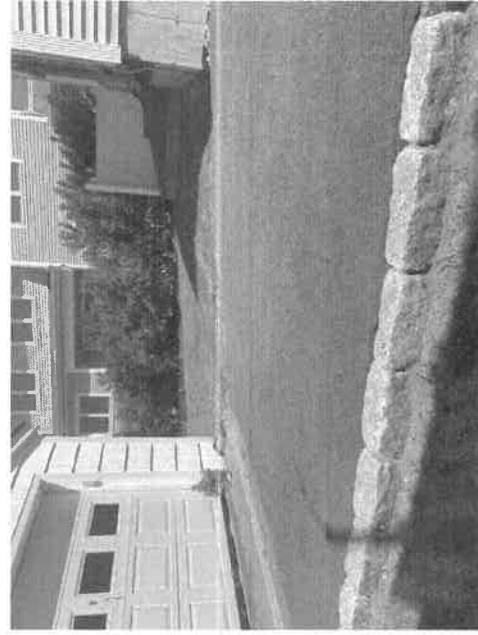
EAST ELEVATION



EAST ELEVATION



WEST ELEVATION LOOKING EAST



SOUTH ELEVATION LOOKING NORTH



EAST ELEVATION



NORTH ELEVATION



PLAT 8  
LOT 14  
119 WATSON AVE

PLAT 8  
LOT 887  
1131 NORTH MAIN RD

PLAT 8  
LOT 883  
49 SPENCER DR

PLAT 8  
LOT 644  
30 OCEAN AVE

PLAT 8  
LOT 642



**AVENUE B ABUTTERS**

PLAT 8 LOT 801  
10 AVENUE B, JAMESTOWN, RI 02835  
DEVEAU, LOREN B.

PLAT 8 LOT 5  
18 AVENUE B, JAMESTOWN, RI 02835  
PEZZELLI, LISA A.  
A/K/A/LISA A. HALL

**WATSON AVENUE ABUTTERS**

PLAT 8 LOT 887  
1131 NORTH MAIN RD, JAMESTOWN, RI 02835  
ZONA, ANTHONY A., JR. TRUSTEE

PLAT 8 LOT 14  
119 WATSON AVE, JAMESTOWN, RI 02835  
P O BOX 464, JAMESTOWN, RI 02835  
CAMMANS, JEFFREY R & KATHLEEN L.

PLAT 8 LOT 788  
18 AVENUE B, JAMESTOWN, RI 02835  
PEZZELLI, LISA A.  
A/K/A LISA A. HALL

NOTE:  
INFORMATION ON THIS SHEET COMPILED  
FROM JAMESTOWN, RI OFFICIAL WEBSITE  
ASSESSOR'S DATA BASE AND MAP DATA  
PROVIDED BY MAINSTREETGIS, LLC.

**OCEAN AVENUE ABUTTERS**

PLAT 8 LOT 39  
6 OCEAN AVE, JAMESTOWN, RI 02835  
610 COLLEGE AVE, BOULDER, CO 80302  
REYNOLDS, ALISTER W & MARY B

PLAT 8 LOT 790  
7 OCEAN AVE, JAMESTOWN, RI 02835  
JAMISON, LINDA J

PLAT 8 LOT 888  
0 OCEAN AVE  
1146 SANTA FE LANE, SANTA BARABARA, CA 93109

PLAT 8 LOT 11  
13 OCEAN AVE, JAMESTOWN, RI 02835  
O'REILLY, PAUL F

PLAT 8 LOT 12  
15 OCEAN AVE, JAMESTOWN, RI 02835  
229 E. 79TH ST., APT 11C, NEW YORK, NY 10075  
TURNER, GEOFFREY L & VAN DEVANTER, NANCY L

PLAT 8 LOT 40  
18 OCEAN AVE, JAMESTOWN, RI 02835  
FLOOD, KATHRYN K & RICHARD T

PLAT 8 LOT 13  
19 OCEAN AVE, JAMESTOWN, RI 02835  
48 LLOYD AVE., PROVIDENCE, RI 02906  
MCLAUGHLIN, KEVIN M & MOSTEFAL, OURIDA

PLAT 8 LOT 41  
20 OCEAN AVE, JAMESTOWN, RI 02835  
ROSS, ERNEST E & DEVAROTI S

PLAT 8 LOT 477  
23 OCEAN AVE, JAMESTOWN, RI 02835  
BELL, VICTOR A & LYNN

PLAT 8 LOT 42  
26 OCEAN AVE, JAMESTOWN, RI 02835  
LITTMAN, KENNETH G & FINN, SUSAN M

PLAT 8 LOT 644  
30 OCEAN AVE  
7 HIGH ST. JAMESTOWN RI 02835  
SALLEM, MARCIA S.

PLAT 8 LOT 883  
49 SPENCER DR, NORTH KINGSTOWN, RI 02852  
KRUEGER, MARY L & PAULA M

**NARRAGANSETT AVENUE ABUTTERS**

PLAT 8 LOT 7  
234 NARRAGANSETT AVE, JAMESTOWN, RI 02835  
NEWMAN, CAROL A

NARRAGANSETT

AVENUE

**LOCUS / ABUTTERS  
NOTIFICATION PLAN**

SCALE: 1" = 70'

Prepared by: Greg Pawlina Arch Service, llc 45 Meadowland Dr. North Kingstown, RI 02852	For: MATT LYONS 17 Ocean Avenue Jamestown, Rhode Island 02835 May 17, 2023	LOCUS/ ABUTTERS NOTIFICATION PLAN	S1
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PLAT 8  
LOT 788

PLAT 8  
LOT 477

PLAT 8  
LOT 13

PLAT 8  
LOT 41

FOUND  
I.P.

+176'

+2'

FOUND  
I.P.

PAVEMENT  
LINE

PLAT 8  
LOT 489  
17 OCEAN AVE

R20 ZONING

EXISTING  
HOUSE

PLAT 8  
LOT 5

FOUND  
G.B.

+80'

EXISTING  
GARAGE

ASPHALT  
DRIVEWAY

OCEAN  
AVENUE

PLAT 8  
LOT 40

OCEAN  
AVENUE

**KEY**

- SETBACK LINES
- PROPERTY LINES
- CONTOUR LINES
- OBJECT LINES

SEE SHEET S3

PLAT 8  
LOT 12

30'

PLAT 8  
LOT 888

PLAT 8  
LOT 7

PLAT 8  
LOT 11

NOTE:  
INFORMATION ON THIS SHEET COMPILED  
FROM JAMESTOWN, RI OFFICIAL WEBSITE  
ASSESSOR'S DATA BASE AND MAP DATA  
PROVIDED BY MAINSTREETGIS, LLC.

AS CONTOUR INFORMATION IS PROVIDED  
BY ABOVE, FIELD VERIFICATION IS  
REQUIRED.

**NEW CONSTRUCTION IS TO OCCUPY  
THE SAME FOOTPRINT AS EXISTING  
GARAGE**

**EXISTING SITE PLAN**

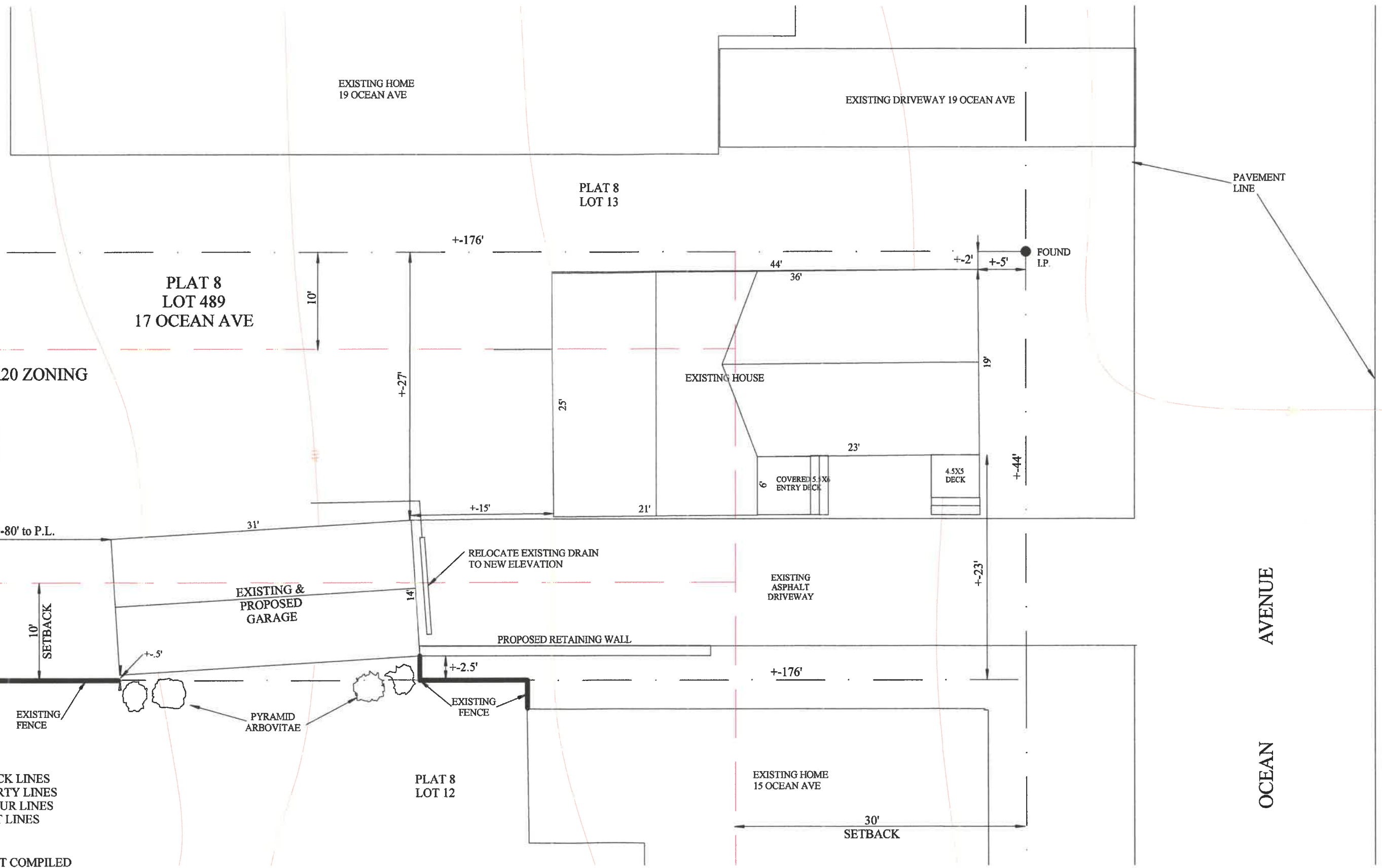
SCALE: 1" = 20'

Prepared by:  
Greg Pawlina  
Arch Service, llc  
45 Meadowland Dr.  
North Kingstown, RI 02852

For:  
**MATT LYONS**  
17 Ocean Avenue  
Jamestown, Rhode Island 02835  
May 17, 2023

**EXISTING  
SITE PLAN**

**S2**



EXISTING UNDERGROUND 500 GALLON PROPANE TANK

R20 ZONING

PLAT 8 LOT 489  
17 OCEAN AVE

EXISTING HOME  
19 OCEAN AVE

EXISTING DRIVEWAY 19 OCEAN AVE

PLAT 8 LOT 13

PAVEMENT LINE

FOUND I.P.

EXISTING HOUSE

COVERED ENTRY DECK

4.5X5 DECK

EXISTING ASPHALT DRIVEWAY

EXISTING & PROPOSED GARAGE

PROPOSED RETAINING WALL

EXISTING FENCE

PYRAMID ARBOVITAE

EXISTING FENCE

PLAT 8 LOT 12

EXISTING HOME 15 OCEAN AVE

OCEAN AVENUE

OCEAN AVENUE

- KEY**
- SETBACK LINES
  - PROPERTY LINES
  - CONTOUR LINES
  - OBJECT LINES

NOTE: INFORMATION ON THIS SHEET COMPILED FROM JAMESTOWN, RI OFFICIAL WEBSITE ASSESSOR'S DATA BASE AND MAP DATA PROVIDED BY MAINSTREETGIS, LLC.

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**NEW CONSTRUCTION IS TO OCCUPY THE SAME FOOTPRINT AS EXISTING GARAGE**

### EXISTING & PROPOSED SITE PLAN

SCALE: 1" = 10'

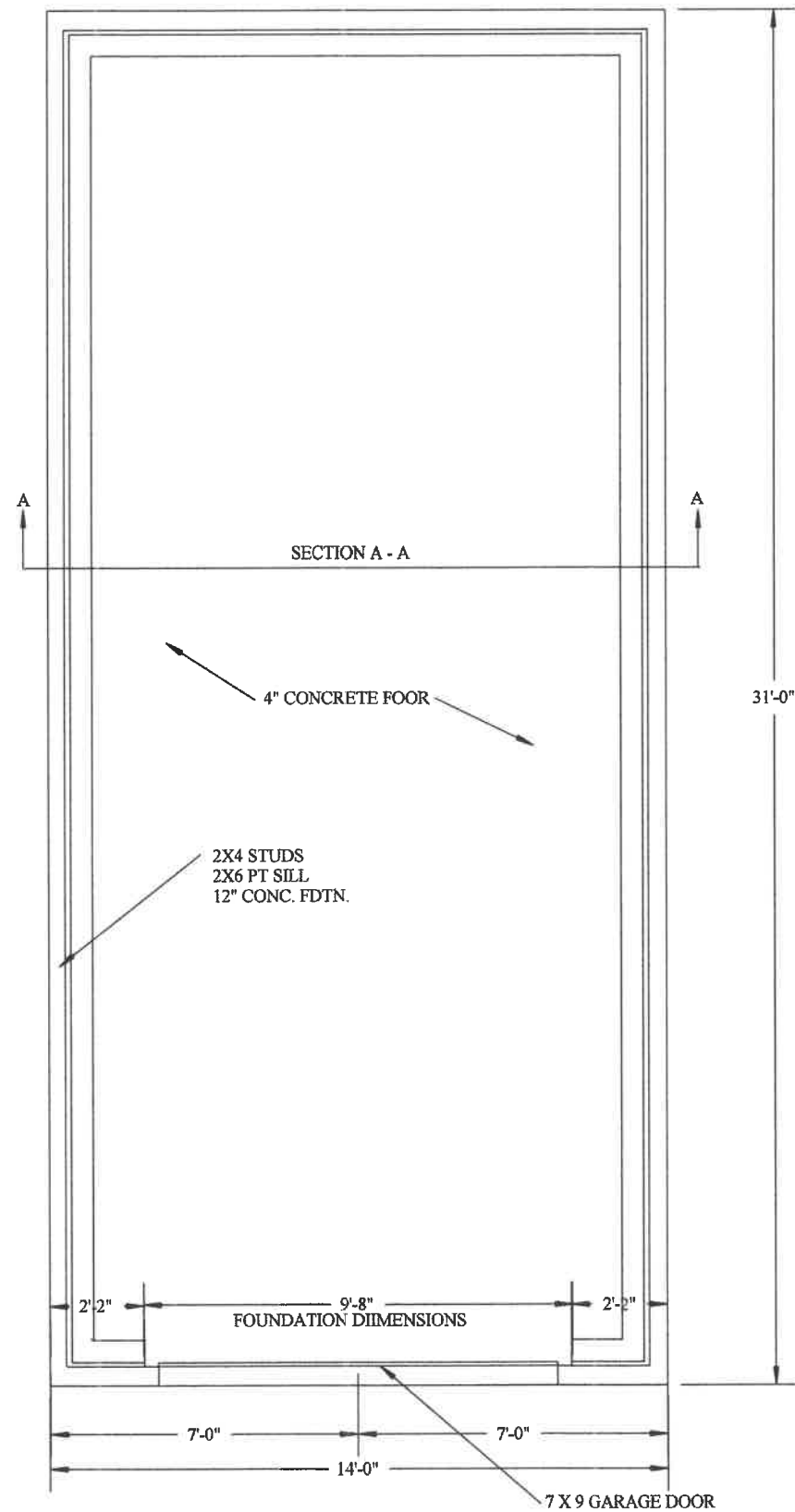
Prepared by:  
 Greg Pawlina  
 Arch Service, llc  
 45 Meadowland Dr.  
 North Kingstown, RI 02852

For:  
 MATT LYONS  
 17 Ocean Avenue  
 Jamestown, Rhode Island 02835  
 May 17, 2023

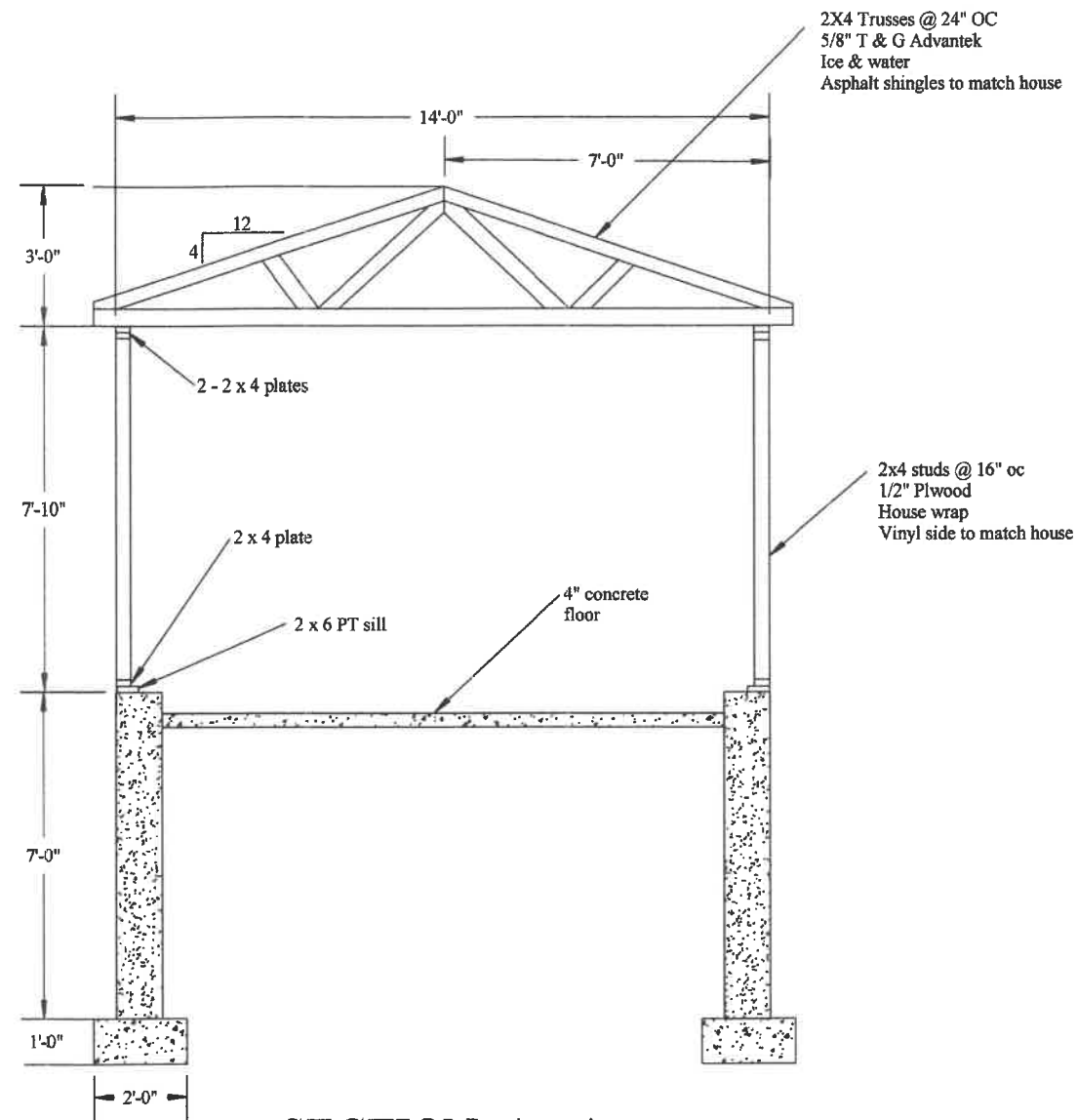
**EXISTING & PROPOSED SITE PLAN**

**S3**





**FLOOR/FOUNDATION  
PLAN**  
SCALE: 1/4" = 1'-0"



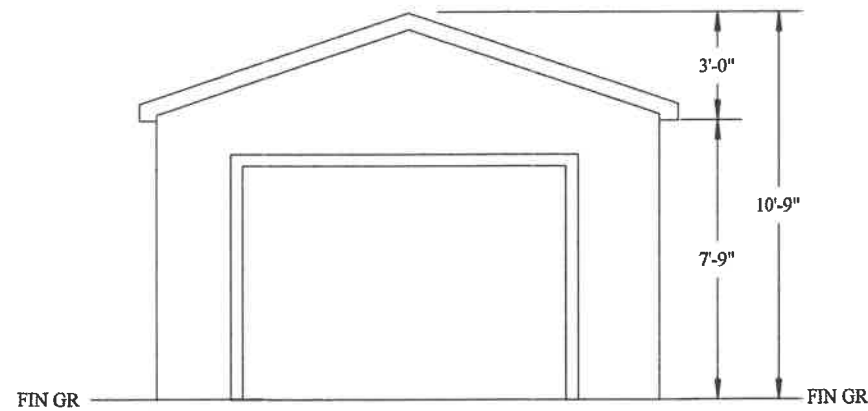
**SECTION A - A**  
SCALE: 1/4" = 1'-0"

Prepared by:  
Greg Pawlina  
Arch Service, llc  
45 Meadowland Dr.  
North Kingstown, RI 02852

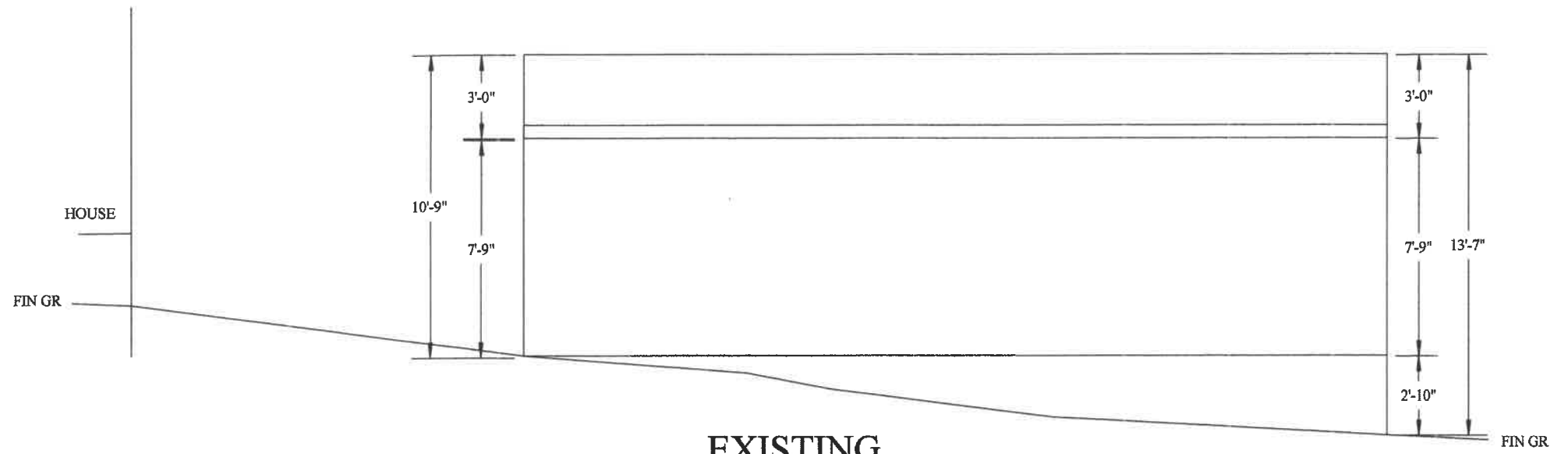
For:  
MATT LYONS  
17 Ocean Avenue  
Jamestown, Rhode Island 02835  
May 17, 2023

**FLOOR &  
FOUNDATION  
PLAN  
SECTION**

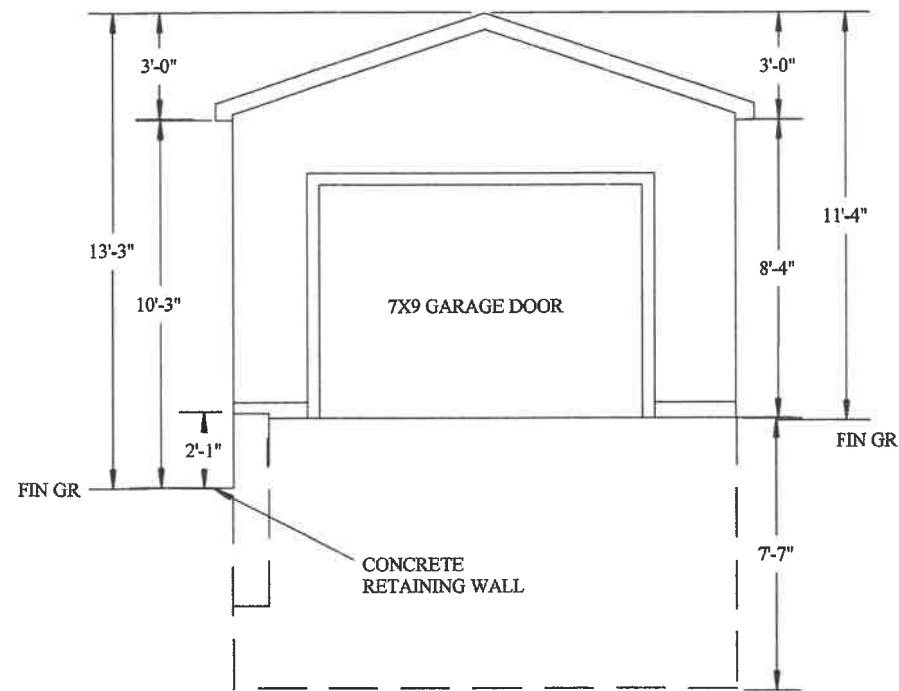
**A1**



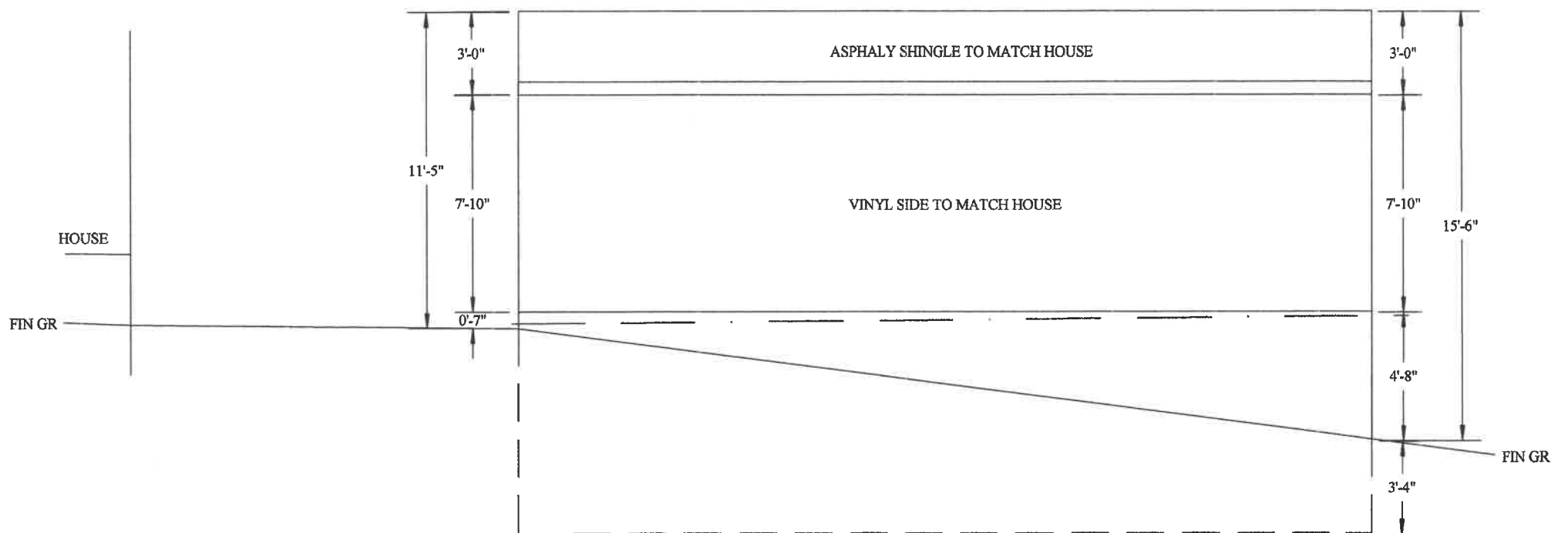
**EXISTING  
EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**EXISTING  
NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**PROPOSED  
EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**PROPOSED  
NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

NOTE:  
ALL CONSTRUCTION TO MATCH EXISTING

EXISTING SIDING TO REMAIN

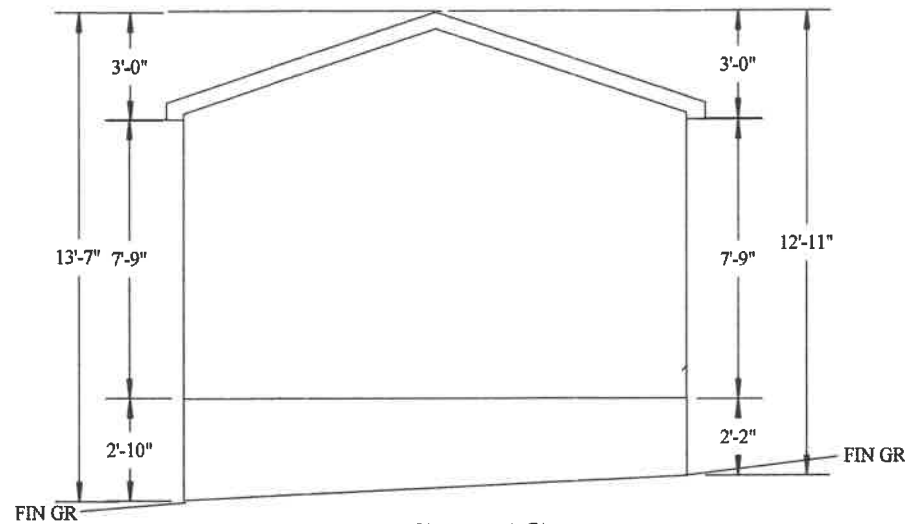
NEW SIDING TO MATCH EXISITING

ALL EXISTING INFORMATION TO BE  
FIELD VERIFIED

Prepared by:  
Greg Pawlina  
Arch Service, llc  
45 Meadowland Dr.  
North Kingstown, RI 02852

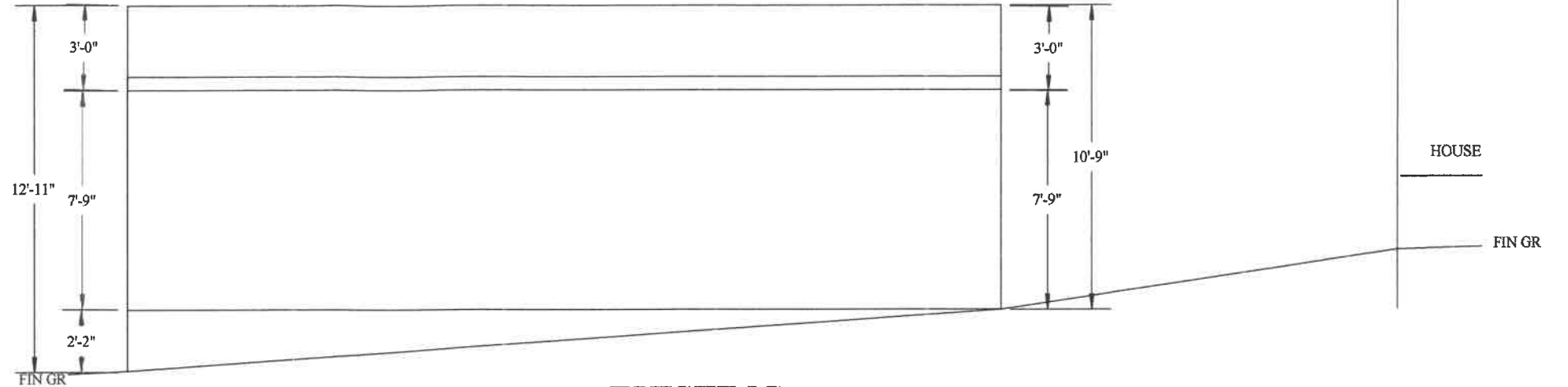
For:  
MATT LYONS  
17 Ocean Avenue  
Jamestown, Rhode Island 02835  
May 17, 2023

ELEVATIONS A2



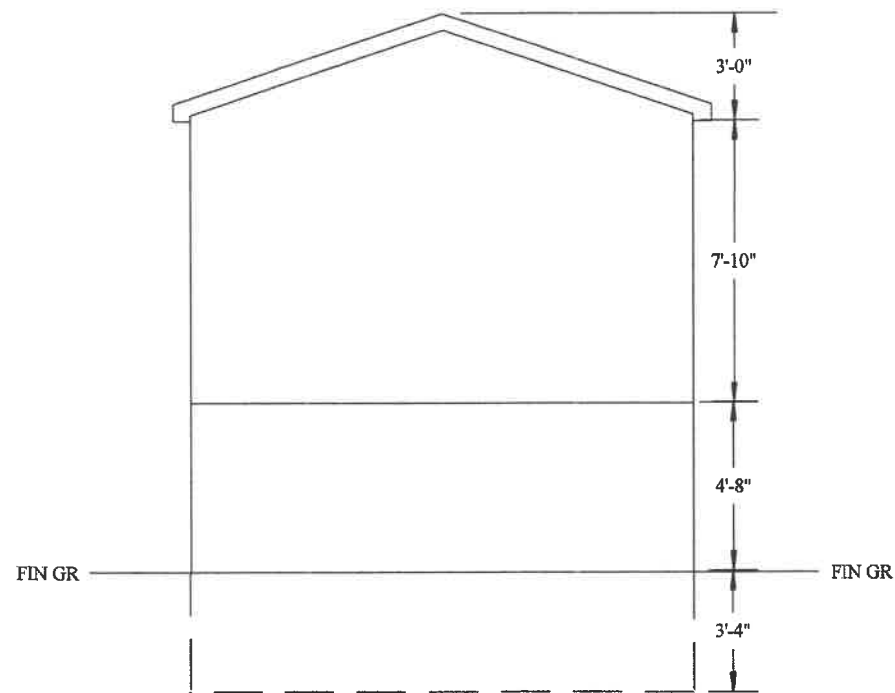
**EXISTING  
WEST ELEVATION**

SCALE: 1/8" = 1'-0"



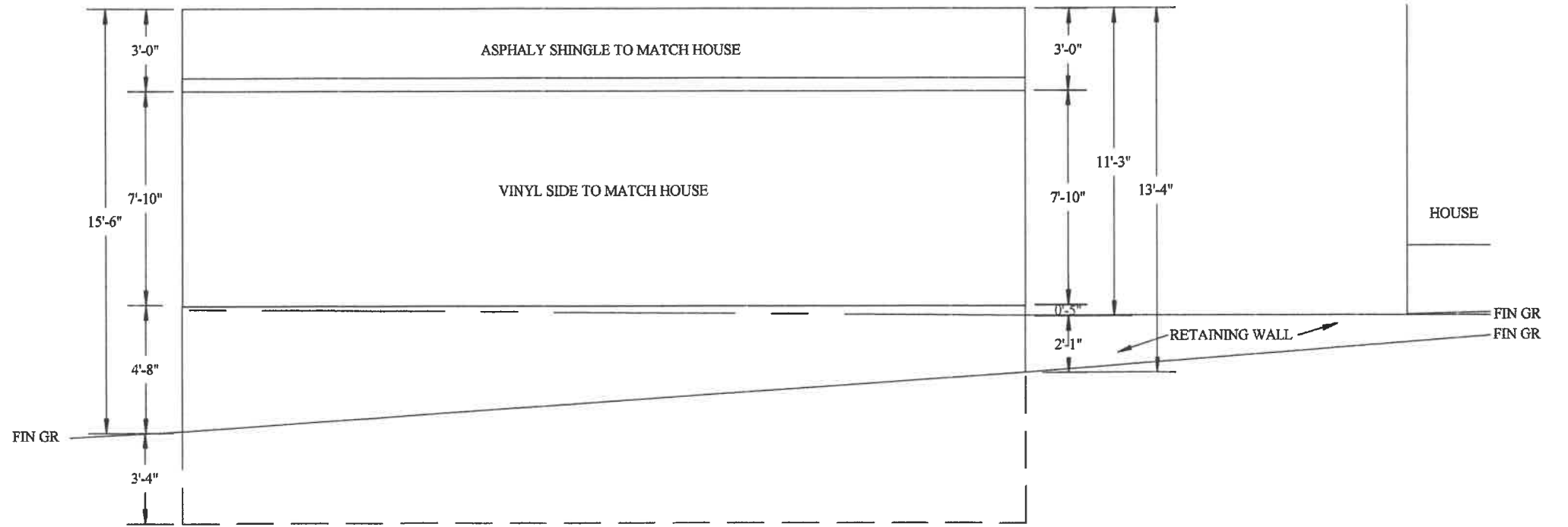
**EXISTING  
SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**PROPOSED  
WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**PROPOSED  
SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE:  
ALL CONSTRUCTION TO MATCH EXISTING

EXISTING SIDING TO REMAIN

NEW SIDING TO MATCH EXISITING

ALL EXISTING INFORMATION TO BE  
FIELD VERIFIED

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North Kingstown, RI 02852

For:  
MATT LYONS  
17 Ocean Avenue  
Jamestown, Rhode Island 02835  
May 17, 2023

**ELEVATIONS A3**