THE BROOKS RESIDENCE

RENOVATION
16 WALNUT ST. JAMESTOWN, RI 02835
SCHEMATIC DESIGN
05/22/2023



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ADDITION/RENOVATION 16 WALNUT ST. JAMESTOWN, RI 02835 SCHEMATIC DESIGN 05/23/2023



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FEMA FLOOD NOTES:

THIS PROPERTY IS NOT IN THE SPECIAL FLOOD HAZARD AREA AS PER 2015 FIRM

PROFESSIONAL STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2014 RHODE ISLAND

PROTECTION NOTES:

- SENIES.

 1.A. STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED 1.B. MEANS OF EGRESS; ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE DUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL
- OBSTRUCTIONS, SUCH AS BUILDING MATERIALS.
- OSSTRUCTIONS, SUCH AS BUILDING WAITERALS.

 PER SARETY

 2.A. ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE OR ANY AREA OF THE BUILDING ARE TO BE STORED IN LOCKED AREA. ACCESS TO THE AREA TO DE CONTROLLED BY THE OWNER, OR GENERAL CONTRACTOR.

 2.B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.

 2.C. ALL PLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATELY VENTILATED SPACE.

 2.D. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THEKE ARE EXPOSED CONDUITS.

 2.E. ALL ELECTRICAL POWER IN THE CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.

 2.F. CONTRACTOR, AT ALL TIMES, TO ENSURE THERE IS NO NATURAL GAS LEARAGE IN THE BUILDINGS, OR ANY FLAMMABLE GAS TO BE USED DURING CONSTRUCTION.

- DURING CAPACITACHIAN

 DUBRIS, DIRT, AND DUST TO BE KEPT TO MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.

 J.E. DEBRIS, DIRT, AND DUST TO BE KEPT TO MINIMUM AND CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.

 B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM THE OCCUPIED BUILDING AREA BY THE MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DIROP CLOTHS.

 J.C. DEBRIS, DIRT, AND DUST TO BE CLEANED UP AND CLEARED FROM THE BUILDING SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION.
- NOTE: AFTER HOURS

 4.A. CONSTRUCTION OPERATIONS WILL BE CONFINED TO WORKING HOURS SET FORTH BY THE BUILDING RULES AND REGULATIONS WITH THE PROPERTY OWNER AND IN COMPUBANCE WITH JAMESTOWN NOISE CONTROL CODE (REF. SEC. 22-66 OF ARTICLE III).

- GENERAL NOTES:

 1. ALL WORK SHALL COMPLY WITH ALL LOCAL BUILDING CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF THE PUBLIC AUTHORITIES GOVERNING THE WORK.

 2. OBTAIN AND PAY FOR ALL FERMITS, INSPECTIONS AND FINAL SIGN-OFFS REQUIRED BY THE PUBLIC AUTHORITIES GOVERNING THE WORK.

 3. THE DRAWINGS AND PROJECT MANUAL, ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL TRENS INCESSARY FOR THE PROPER DECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL ADDOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE ORGANIZATION OF THE DRAWINGS AND PROJECT MANUAL SHALL NOT CONTRACTOR IN DIVIDING WORK AWONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK PREPORATED BY ANY TRADE.

 4. REVIEW DOCUMENTS, VERBY DIMENSIONS AND FILED CONDITIONS AND CONTRACTOR SO IN RESTABLISHING THE CONTRACTOR SHALL REPORT ANY CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO OFFINATE THE WORK STATED IN ON THE CONTRACT DECUMENTS ASPED UPON THE OFFINAL STABLESHING THE CONTRACT DECUMENTS ASPED UPON THE OFFINAL STABLESHING THE CONTRACT DECUMENTS ASPED UPON THE OFFINAL STABLISHING THE CONTRACT DECUMENTS ASPED UPON THE OFFINAL STABLISHING THE OFFINAL STABLISHING THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS TO COMPLETE THE WORK STATED IN ON THE CONTRACT DECUMENTS ASPED UPON THE OFFINAL STABLISHING THAN THE OWNER, FARBICATION OR INSTALLATION.

 5. SUBMIT EXQUESTS FOR SUBSTITUTIONS, REVISIONS ANDORS CHANGES TO THE DESIGNER, IN WRITING, FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.

 6. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDUING TIME AND LOCATIONS FOR DELLARSE, SITE ACCESS, USE OF SITE SERVICES AND PECKINED.

 7. PROTECTION OF HALL BE REPRIRED AT NO ADDITIONAL COST TO THE OWNER.

 8. SUBMIT SAMFILES, DATA SHEETS AND SHOP DRAWINGS TO DESIGNER FOR REVIEW.

 9. MAINTAIN THE CONTRACTOR SHALL SOON DATE AND ADDITIONAL COST TO THE OWNER.

 10. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONTRICT. THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLASHICATION OR IN

- COMPLY WITH APPLICABLE LOCAL. STATE AND PEDERAL CODES AND REGULATIONS PERTAINING TO SAPETY OF PERSONS, PROPERTY
- AND ENVIRONMENTAL PROTECTION.

 2. PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT
- WORKERS AND OCCUPANTS OF THE BUILDING.
 3. ERECT AND MAINTAIN DUSTFROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD O DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION OF WORK, REMOVE PARTITIONS AND REPAIR SURFACES DAMAGED TO MATCH ADJACENT
- XCES.

 IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO ADDITIONAL COST TO THE OWNUR.
 REMOVE FROM THE SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FORM
- DEMOLITION OPERATIONS.
 6. FOR ALL TIEMS SCHEDULED FOR REMOVAL AND REINSTALLATION, CONTRACTOR SHALL VERIFY AND DOCUMENT, IN WRITING, THE CONDITION AND PUNCTIONALITY OF THE ITEM(S) PRIOR TO REMOVAL. ANY DAMAGE TO ITEM(S) NOT DOCUMENTED SHALL BE REPAIRED BY
- CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

- ALD DIMENSIONS ARE DIMENSIONED FROM PINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS
 MARKED "CLEAR" OR THOLD." ALLOW FOR THICKNESS OF FINISHES.
 COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR
- CEUINGS.

 JUNDERCUT OF DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED.

 MARK THE LOCATION OF ALL PARTITIONS ON THE SLAB FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION. REVIEW SHALL BE FOR DESIGN INTENT. CONTRACTOR TO VERY ALL CONDITIONS IN ORDER TO ENSURE PROPER FIT.

 WHERE PERSTING ACCESS FAMILES CONFLICT WITH CONSTRUCTION, RELOCATE PANELS TO ALIGN WITH AND FIT WITHIN NEW CONSTRUCTION. (REVIEW WITH ARCHITECT IN THE FIELD)

 FOR PAICH AND REPAIR ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVER ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVER ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO REMAIN AS REQUIRED TO LEAVE THEM

- ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNISATISFACTORY CONDITIONS HAVE BEEN CORRECTED, STARTING OF WORK INDICATES INSTALLERS ACCEPTANCE OF SUBSTRATE.
 REPAIR EXISTING SURFACES SCHEDULED TO REMAIN AS REQUIRED FOR THE APPLICATION OF NEW HISHES.
 UNIESS OTHERWISE NOTED, PROVIDE MINIMUM THREE-COAT PAINT SYSTEMS FOR EACH SUBSTRATE.

RENDERS

Sheet List Sheet Number COVER SHEET FOUNDATION PLAN PROPOSED BASEMENT PLAN PROPOSED 1ST FLOOR PLAN PROPOSED 2ND FLOOR PLAN PROPOSED 3RD FLOOR PLAN PROPOSED ROOF PLAN A1.5 PROPOSED GARAGE PLAN 1/2" PLANS MH ELEVATIONS MH ELEVATIONS GARAGE ELEVATIONS TYP. SECTIONS WINDOW # DOOR SCHEDULE

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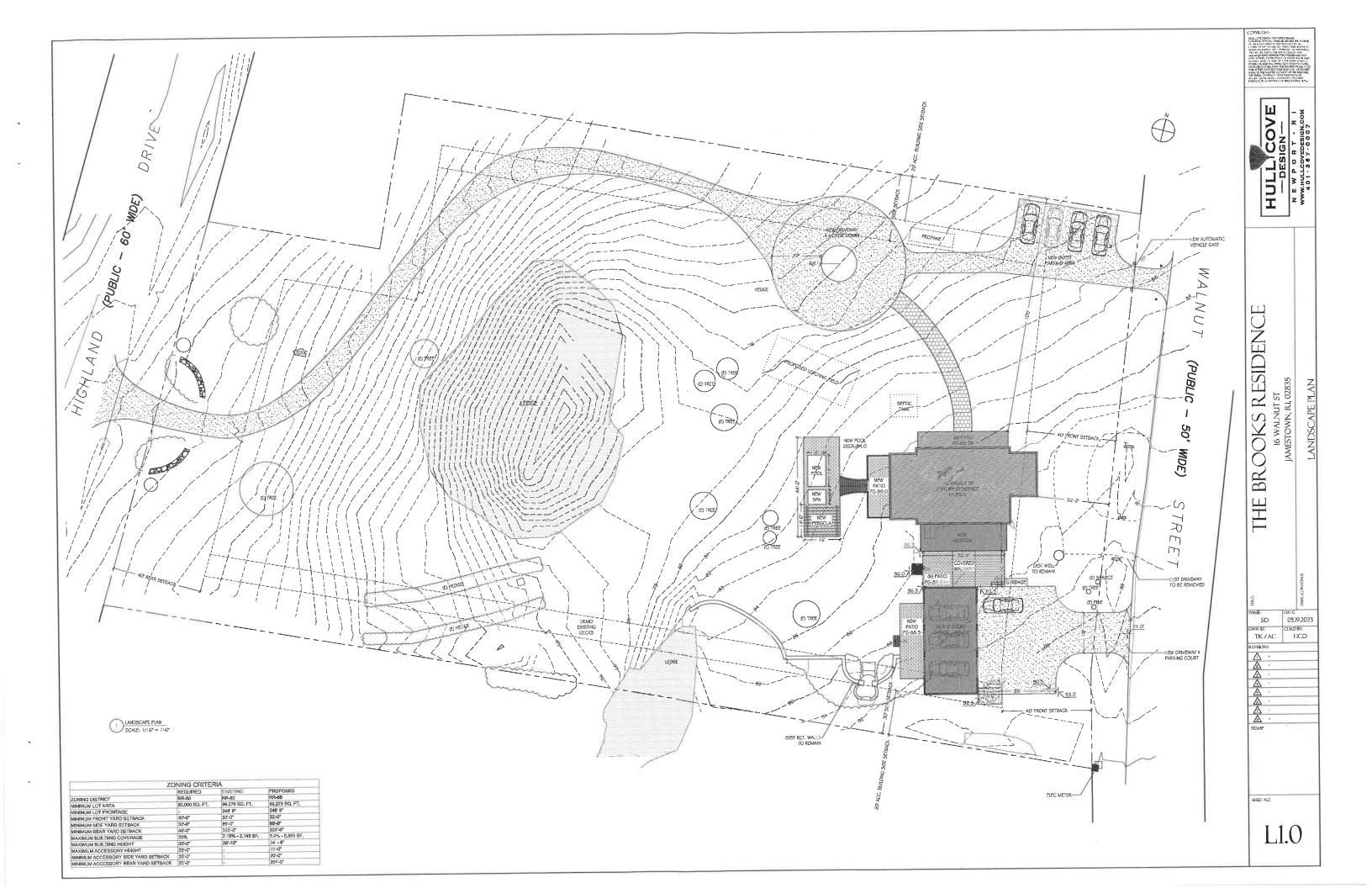
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SD 05.22.23 AC/JT SCALE: REVISIONS

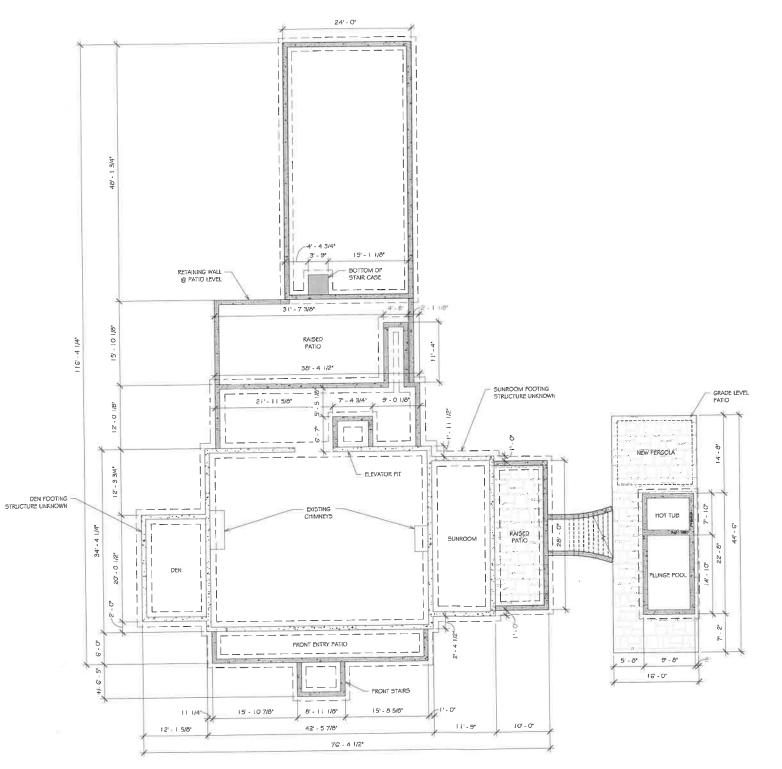
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NOTE: 3D VIEWS ARE SCHEMATIC ONLY. REFER TO CONSTRUCTION DRAWINGS FOR FINAL PLAN AND ELEVATION DETAILS







FOUNDATION PLAN

1/8" = 1'-0"

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	THE BROOKS RESIDENCE		I 6 WANUT ST. JAMESTOWN, RI 02835	FOUNDATION PLAN	
	TITLE:			SHEET CONTENTS:	
	PHASE: SD		DATE: 05.22.23		
POUNDATION NOTES: 1. ALL DIMENSIONS TAKEN FROM FACE OF FRAMING/CONCRETE UNLESS OTHERWISE NOTED, VIF. CONTRACTOR TO NOTIFY HCD OF ANY	DWN BY: AC		CHKD BY: HCD		
DISCREPANCIES. 2. DO NOT SCALE DRAWINGS. CONTACT HCD TO VERIFY DIMENSIONS. 3. EVACT LOCATION OF ALL M.E.P. ITEMS TO BE COORDINATED IN FIELD WITH HCD AND OWNER. 4. CONTRACTOR TO ENSURE O.O. GRADE LEVEL IS ADEQUATE TO PROVIDE G MIN. FALL WITHIN PEST 1.O.O. OF SOIL SURROUNDING THE PREMIETER FOUNDATION WALLS. 5. PROVIDE HILLER HAMBRANG COVERED CRUSHED STONE DRAIN AT PREMIETER OF FOOTINGS AND SUMP BELOW SLAB AS REQUIRED PER SECTION RAGS OF RISSC: 2. PROVIDE MECHANICAL PLUMP TO DATLIGHT. 6. PROVIDE I DEEP SAWCUT CONTROL JOINTS IN CONCRETE SLAB WITHIN 12 HOURS OF SLAB PLACEMENT AND FILL W EPOXY AFTER CURING. LOCATE JOINTS EVERY S.O. O.C. MAX. IN EACH DIRECTION.	5CALE: As indicated				
	REVISIONS:				
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PRECAST FOOTING RETAINING WALL

EXISTING 10" CONCRETE WALL

NEW 10° CONCRETE WALL W/ 34" X 34° FOOTING

Comment of the

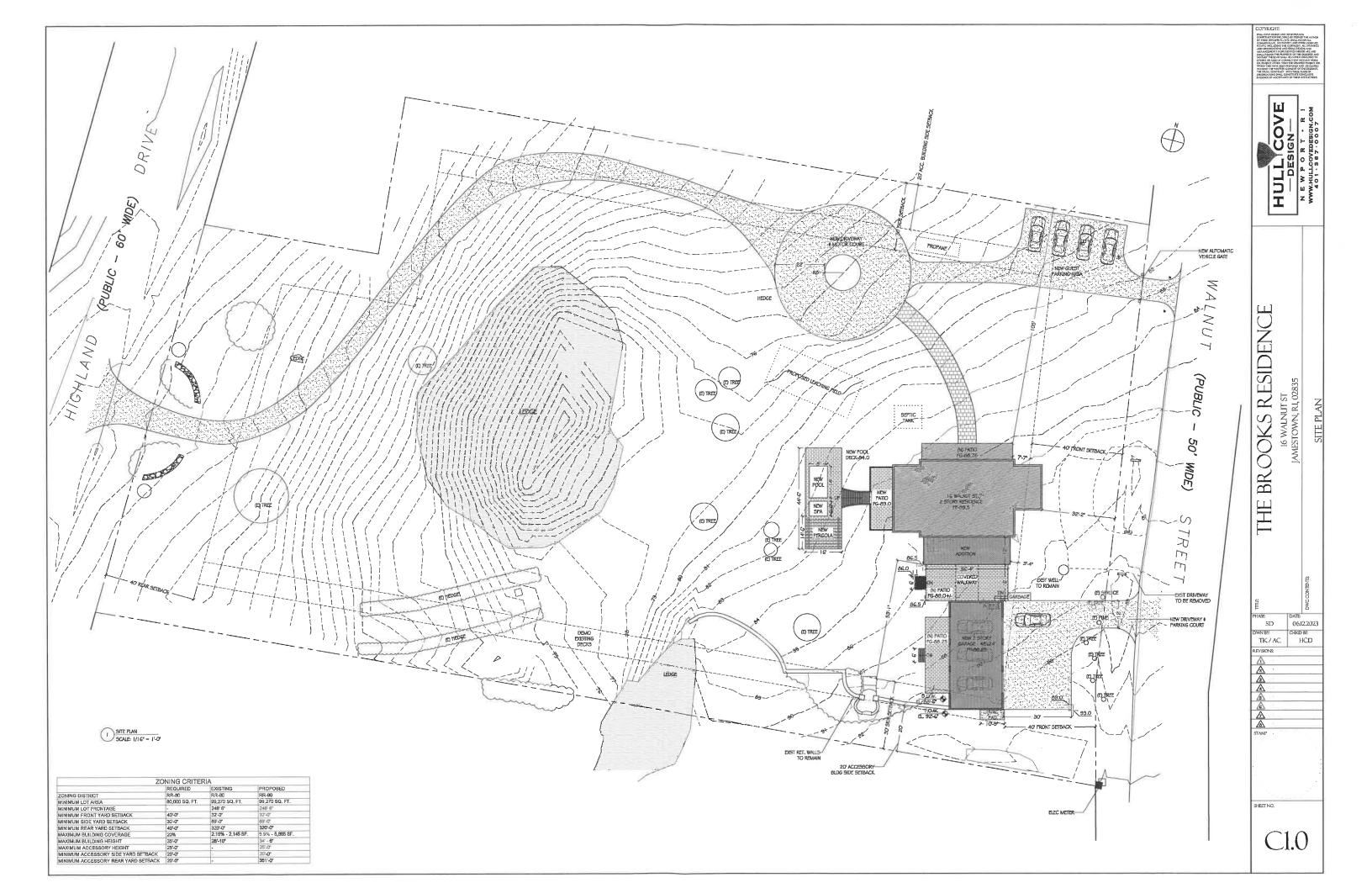
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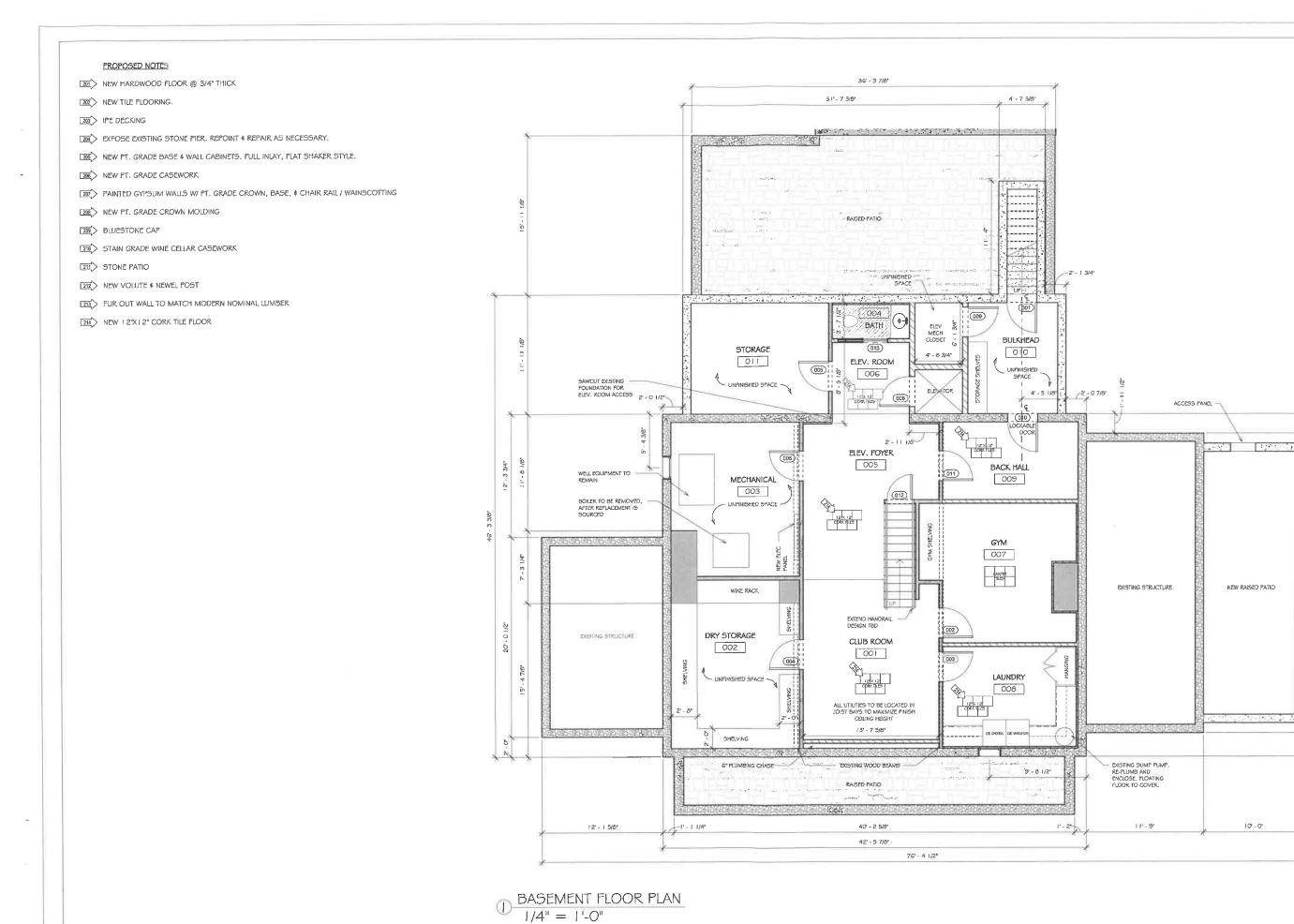
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T.O. ELEVATION EL. 000 - 0" ELEVATION MARKER

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SHEET #

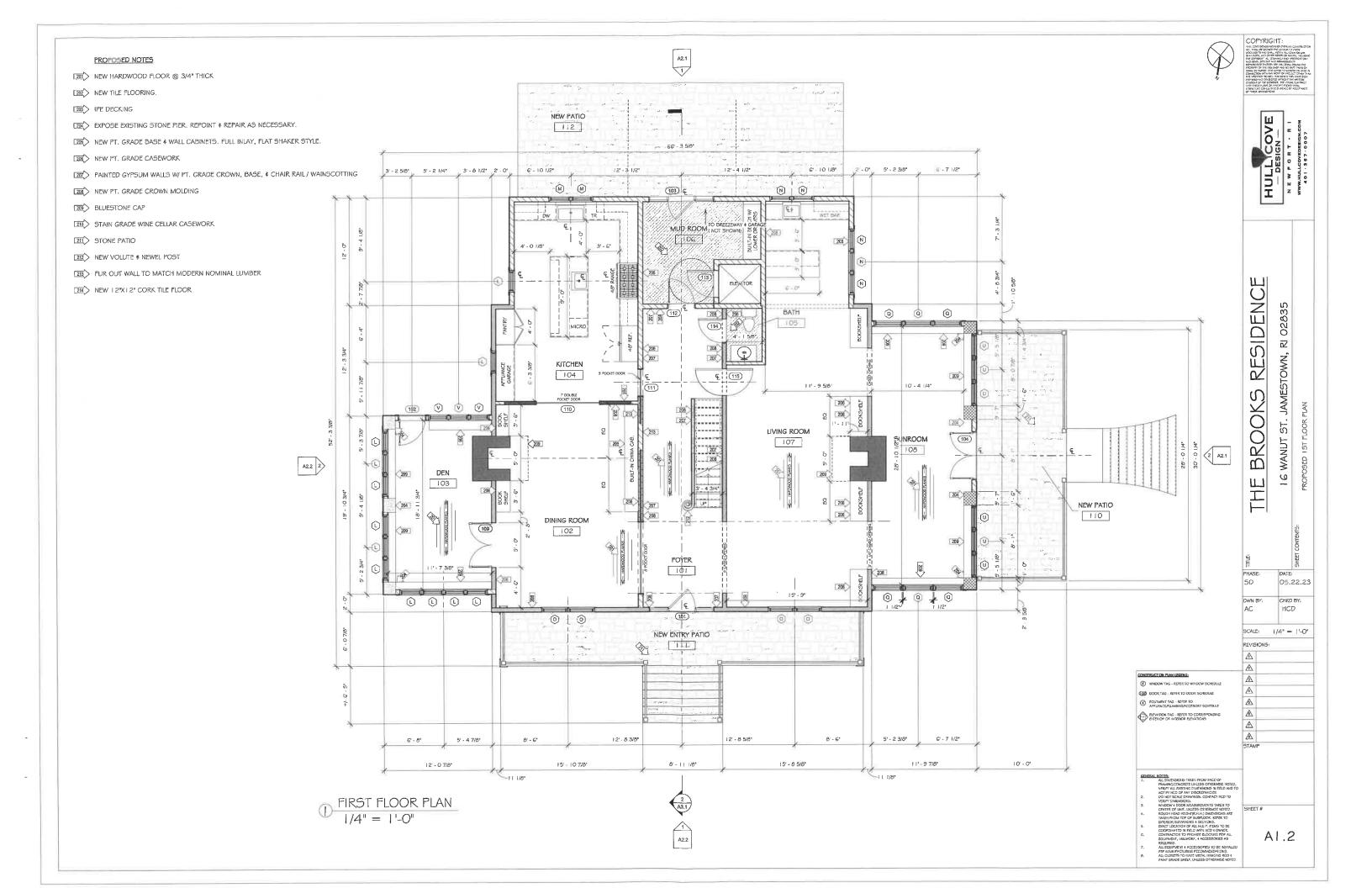




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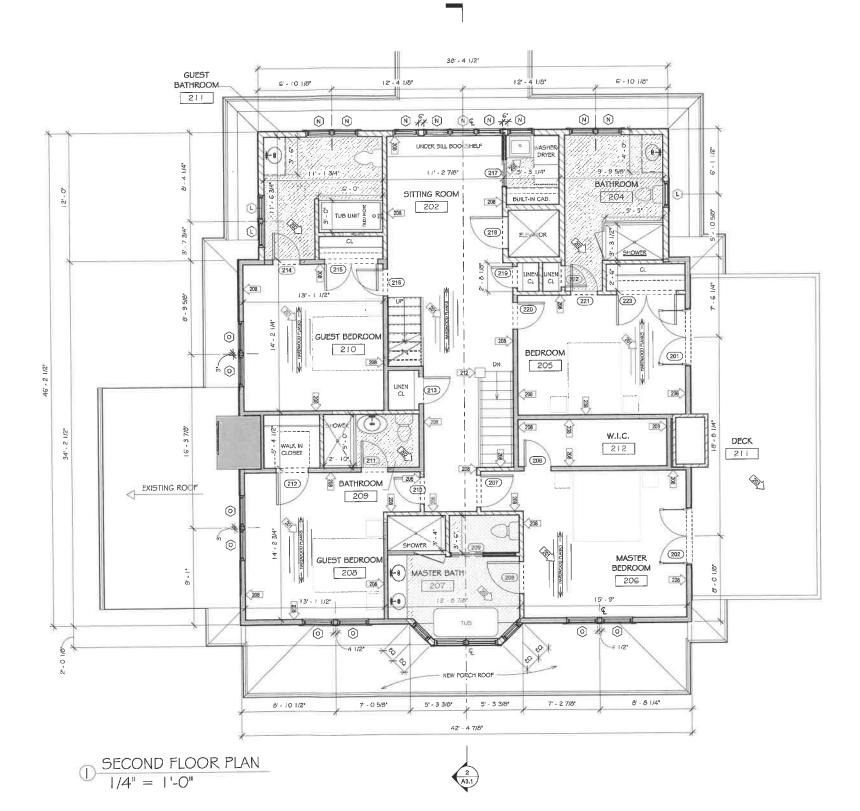
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PROPOSED NOTES

- NEW HARDWOOD FLOOR @ 3/4" THICK
- NEW TILE FLOORING.
- 203 PE DECKING
- EXPOSE EXISTING STONE PIER. REPOINT \$ REPAIR AS NECESSARY.
- NEW PT. GRADE BASE \$ WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 NEW PT. GRADE CASEWORK
- PAINTED GYPSUM WALLS W/ PT. GRADE CROWN, BASE, \$ CHAIR RAIL / WAINSCOTTING
- NEW PT. GRADE CROWN MOLDING
- BLUESTONE CAP
- 210 STAIN GRADE WINE CELLAR CASEWORK
- 211 STONE PATIO
- 212 NEW VOLUTE # NEWEL POST
- FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 NEW 12"X12" CORK TILE FLOOR





HULL COVE

- DESIGN
N E W P O R T . R .

THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02835

PHASE: DATE:

5D 05.22.23

DWN 87: CHKD BY:

AC HCD

SCALE: 1/4* = [1-0*

SCALE: |/4" = |'-0"

REVISIONS:

CONSTRUCTION PLAN LEGENDS

(X) WINDOW TAG - REFER TO WINDOW SCHEDULE

(X) DOOR TAG - REFER TO DOOR SCHEDULE

ZÖLJÍMÉNT TAG - REFER TÖ
 APPLIANCE PLIMBING/ACCESORY SOM

ELEVATION TAG - REFER TO CORRESPO
 EXTERIOR OR INTERIOR ELEVATIONS

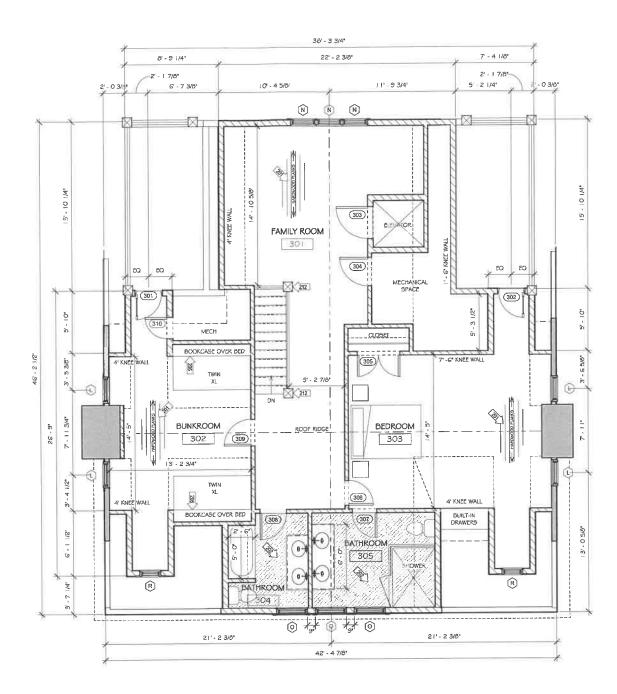
FRAL NOTES:
ALL DIMENSIONS TAKEN FROM PACE
FRAMINGCONDETE UNLESS OTHER
VERITY ALL EXISTING DIMENSIONS IN
NOTITY HICL OF ANY DISCREPANCIES
DO NOT SCALE DRAWNINGS, CONTAC
VERITY ONENSIONS.

DO NOT SCALE DRAWMOS. CONTACT VERIFY DIMENSIONS.
WHIDDOW 6 DOOR MEASUREMENTS TA CENTER OF UNIT, UNLESS OTHERWISE ROUGH HAD INICIDENT INTO POPULATION FROM THE DIMENSION TAKEN FROM TOP OF SUBTLOOK. REF. REPRINCE LEEVATIONS & SECTIONS.
DIAGT LOCATION OF ALL M.L.E., ITEMS COORDINATED IN FIELD WITH THEO P.

PTO BE PANER. FOR ALL SEE AS BE INSTALLED

PROPOSED NOTES

- 201 NEW HARDWOOD FLOOR @ 3/4" THICK
- 202 NEW TILE FLOORING.
- 1203 | IPE DECKING
- EXPOSE EXISTING STONE PIER. REPOINT & REPAIR AS NECESSARY.
- NEW PT. GRADE BASE \$ WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 NEW PT. GRADE CASEWORK
- PAINTED GYPSUM WALLS W/ PT. GRADE CROWN, BASE, # CHAIR RAIL / WAINSCOTTING
- NEW PT. GRADE CROWN MOLDING
- 209 BLUESTONE CAP
- TIE STAIN GRADE WINE CELLAR CASEWORK
- 211 STONE PATIO
- 212 NEW VOLUTE # NEWEL POST
- FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 NEW | 2"X | 2" CORK TILE FLOOR



THIRD FLOOR PLAN

1/4" = 1'-0"



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THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02635

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05.22.23

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1/4" = 1'-0"

CONSTRUCTION FLAN LEGENDA

(S) WINDOW TAG - REFER TO WINDOW SCHED

(D) DOOR TAG - REFER TO DOOR SCHEDULE

EQUITMENT TAG - REFER TO
 APPLIANCIPTUM MINIGRACIZORY SCHEDI
 ELEVATION TAG - REFER TO CORRISPONE
 EXTERIOR OR INTERIOR ELEVATIONS

ALL DIMEN
FRAMINGA

AL DIMISIOUS TAKEN PRICE OF FRANKSCONKERE INITES OTTERWISE NO YESUM AL RESTING DIMINISIONS IN PED A HOTTY FOR OF ANY DESCRIPTIONS.

2. DO NOT SCALE DEWINGS, CONTACT HOD TO YESUM DIMISIONS.

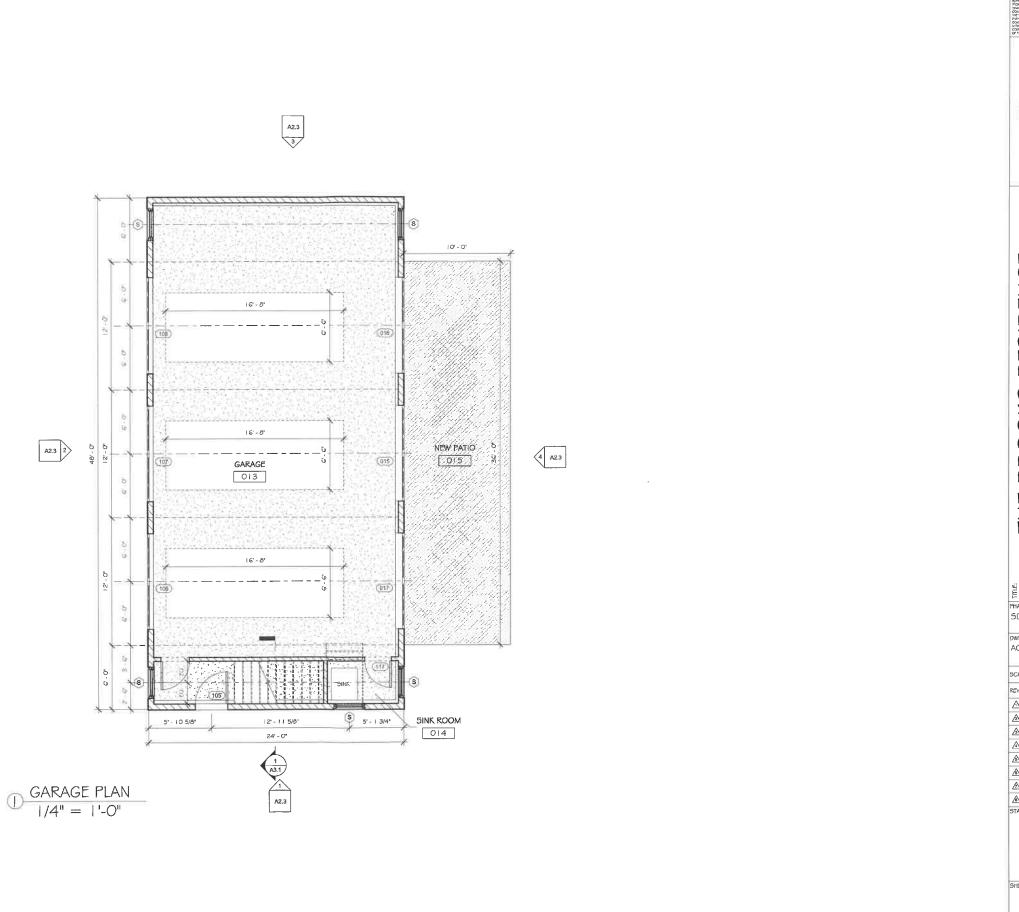
3. WIDOW & DOOR MADSURABELTS TAKEN TO CARTER OF UNIT INJUSTS OFTERWISE NOTE.

4. CAUGH HEED VISION TO NOTES ONES.

I. ROUGH HEAD HEIGHTER, HALL DIMEDISION TAKEN FROM TOP OF SUBPLICOR. REPER EXTERIOR ELEVATIONS 6 SECTIONS.

EMACT LOCATION OF ALL M.E.P. ITEMS TO COORDINATED 48 TREID WITH HOC 4 OWN CONFRACTOR TO FROM THE DWITH HOC 4 OWN EXCEPTION MILLWORK, 4 ACCESSORIES FEOLINED.

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A2.3 2

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THE BROOKS RESIDENCE 16 WANUT ST. JAMESTOWN, RI 02835

PHASE: DATE: 05.22.23 CHKD BY: HCD

1/4" = 1'-0"

A1.6





WEST ELEVATION 1/4" = 1'-0"

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MH ELEVATIONS

PHASE SD 05.17.23 CHKD BY: HCD

1/4" = 1'-0" SCALE:

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NORTH ELEVATION 1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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RESIDENCE I 6 WANUT ST. JAMESTOWN, RI 02835 THE BROOKS

DATE: 05.17.23 PHASE SD CHKD BY: HCD

MH ELEVATIONS

SCALE: 1/4" = 11-0"

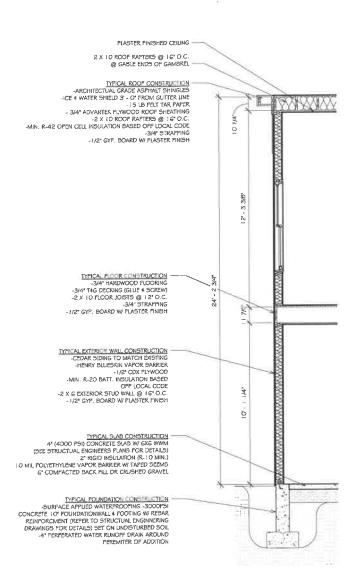
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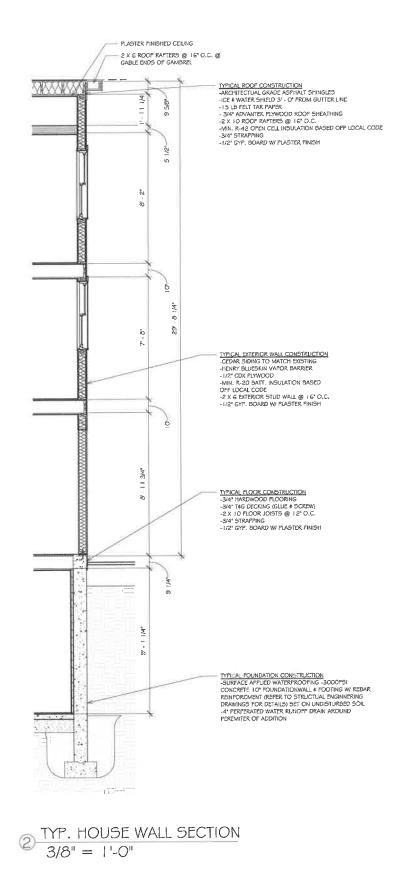
NOTE: REFER TO DRAWINGS BY STRUCTUAL ENGINEER

STRUCTURAL ENGINEER IS RESPONSIBLE FOR ALL STRUCTURAL FRAMING COMPONENTS, INCLUDING BUT NOT LIMITED TO L.V.L. AND STEEL BEAMS. REFER TO SEPARATE ENGINEER PACKET BY ENGINEER FOR ALL FRAMING DETAILS.

ENGINEER IS RESPONSIBLE FOR ALL FOUNDATION AND FOOTING INFORMATION. REFER TO SEPARATE ENGINEER PACKET BY STRUCTURAL ENGINEERING FOR ALL FOUNDATION INFORMATION.



TYP. GARAGE WALL SECTION 3/8" = 1'-0"



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RESIDENCE 02835 I 6 WANUT ST. JAMESTOWN, RI BROOKS 出上

SD 05.22.23 DWN BY: CHKD BY: Author Checker

SCALE: 3/8" = 1'-0" REVISIONS:

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