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401-367-0007
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THE BROOKS RESIDENCE

RENOVATION

16 WALNUT ST. JAMESTOWN, RI 02835

SCHEMATIC DESIGN

05/22/2023



NEWPORT · RI

WWW.HULLCOVEDESIGN.COM

401-367-0007

THE BROOKS RESIDENCE

16 WALNUT ST. JAMESTOWN, RI 02835

TITLE SHEET

TITLE:

PHASE: SD DATE: 05.22.23

DWN BY: AC CHECK BY: HCD

SCALE:

REVISIONS:

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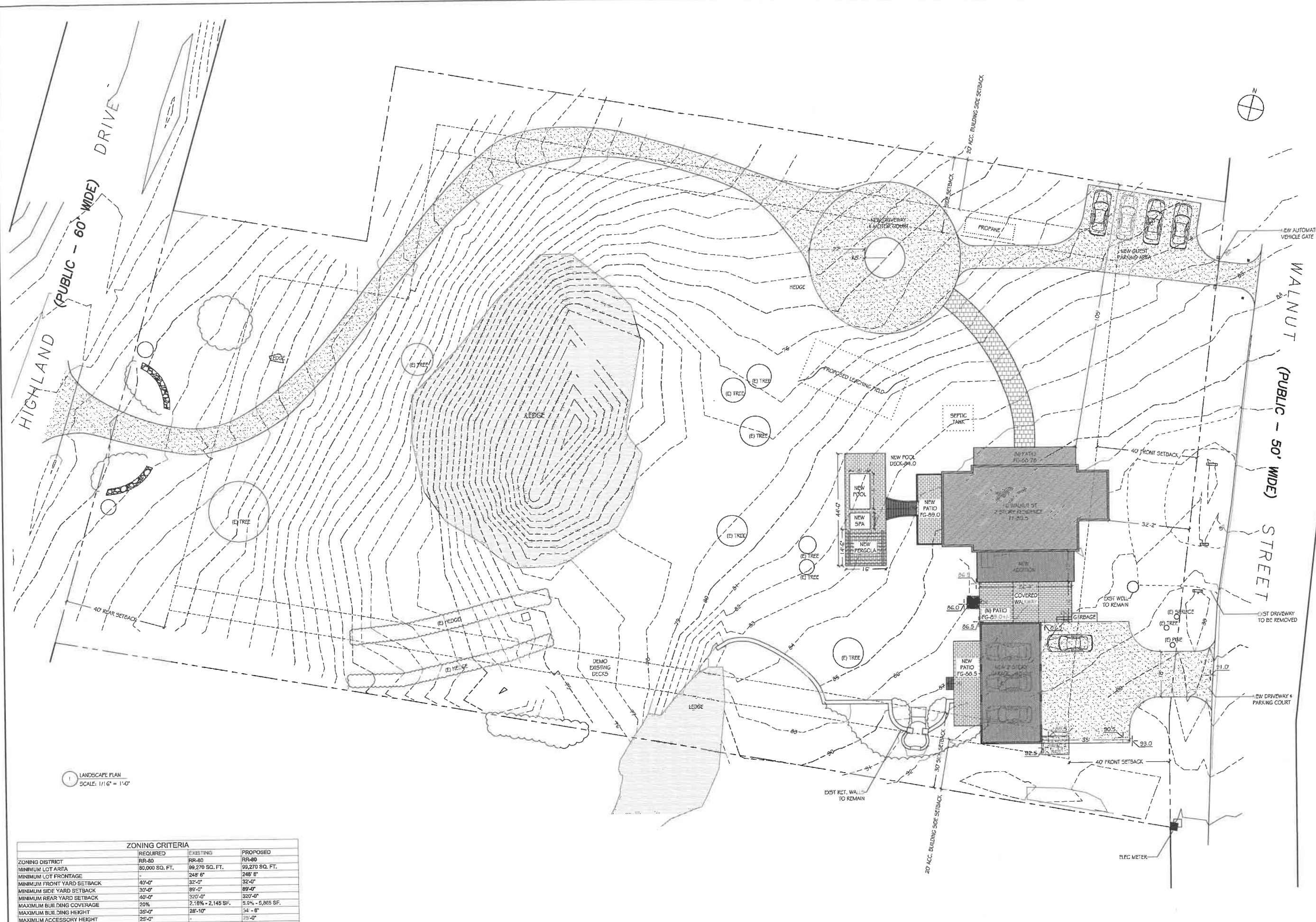
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SHEET #

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THE BROOKS RESIDENCE
16 WALNUT ST
JAMESTOWN, RI 02835
LANDSCAPE PLAN

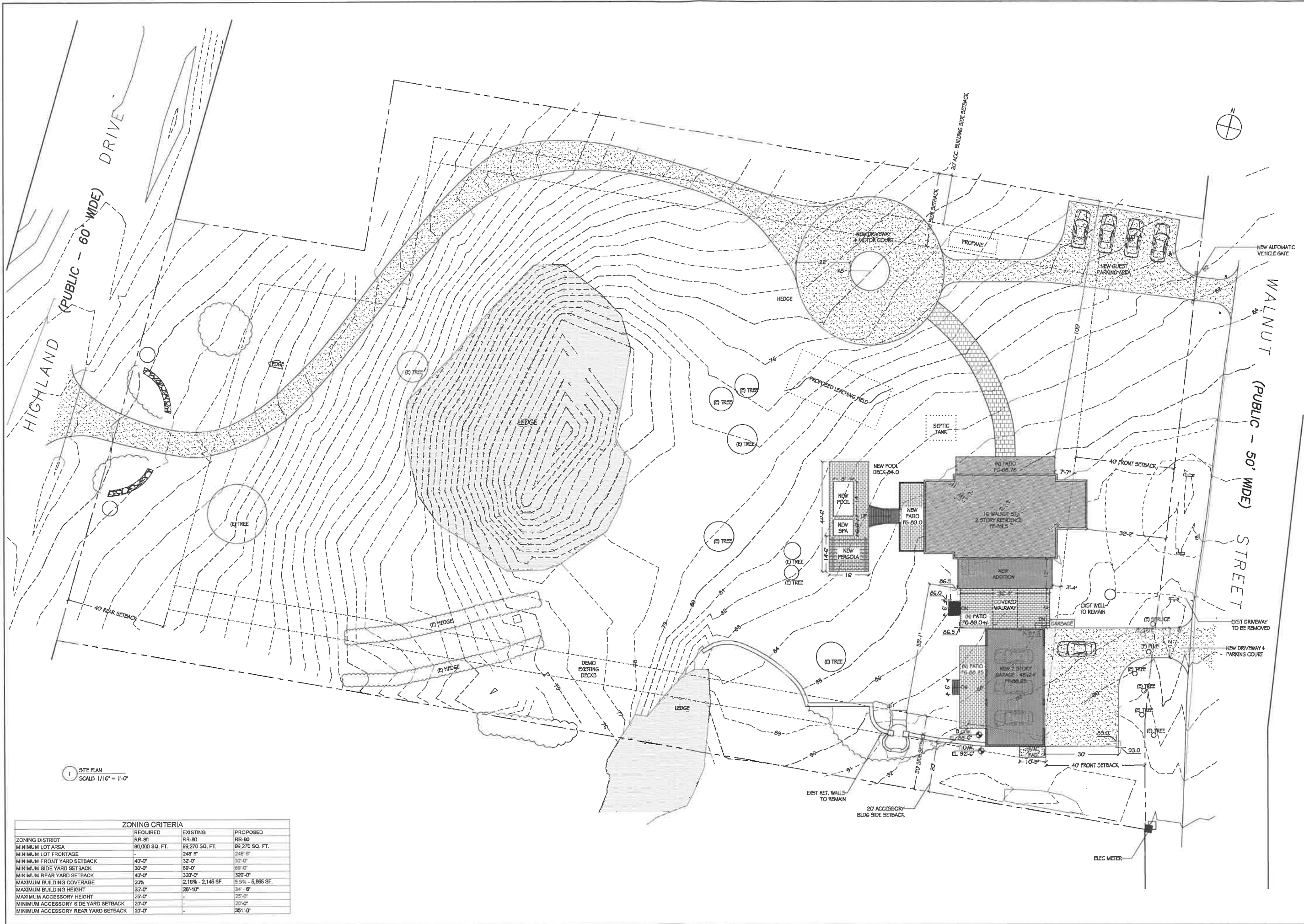
TITLE: _____
DATE: 05.19.2023
SD: _____
DWN BY: TK/AC
CHKD BY: HCD
REVISIONS:
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STAMP: _____



LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

ZONING CRITERIA			
	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	RR-80	RR-80	RR-80
MINIMUM LOT AREA	80,000 SQ. FT.	99,270 SQ. FT.	99,270 SQ. FT.
MINIMUM LOT FRONTAGE	-	248' 8"	248' 8"
MINIMUM FRONT YARD SETBACK	40'-0"	32'-0"	32'-0"
MINIMUM SIDE YARD SETBACK	30'-0"	89'-0"	89'-0"
MINIMUM REAR YARD SETBACK	40'-0"	320'-0"	320'-0"
MAXIMUM BUILDING COVERAGE	20%	2.16% = 2,145 SF.	5.9% = 5,885 SF.
MAXIMUM BUILDING HEIGHT	35'-0"	28'-10"	34' - 6"
MAXIMUM ACCESSORY HEIGHT	25'-0"	-	25'-0"
MINIMUM ACCESSORY SIDE YARD SETBACK	20'-0"	-	20'-0"
MINIMUM ACCESSORY REAR YARD SETBACK	20'-0"	-	351'-0"

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THE BROOKS RESIDENCE
 16 WALNUT ST
 JAMESTOWN, RI, 02835
 SITE PLAN

TITLE		
DATE	06.12.2023	
SD		
CHKD BY	HCD	
DWN BY		
TK / AC		
REVISIONS		
STAMP		

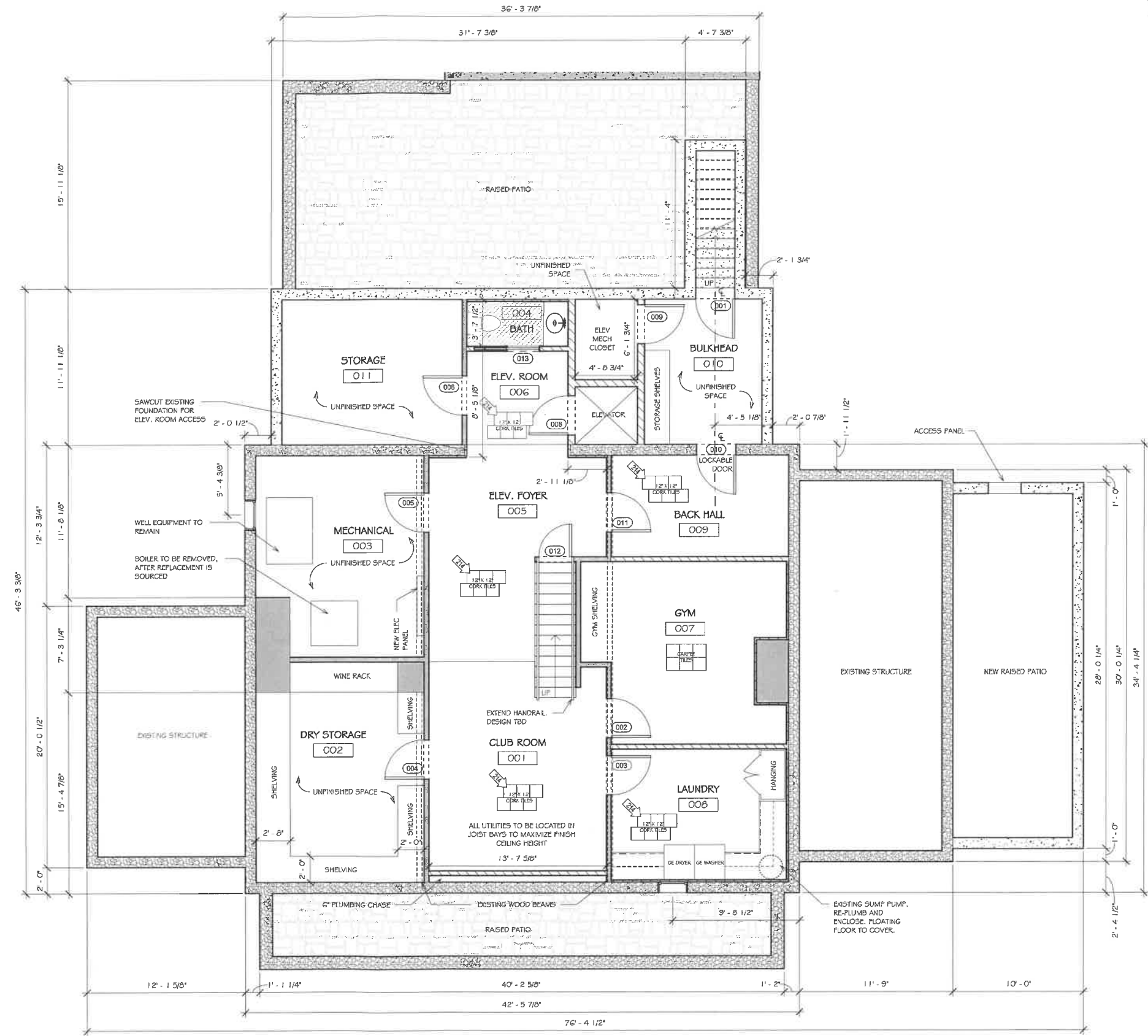
1 SITE PLAN
 SCALE: 1/16" = 1'-0"

ZONING CRITERIA		
	REQUIRED	EXISTING
ZONING DISTRICT	RR-80	RR-80
MINIMUM LOT AREA	80,000 SQ. FT.	99,270 SQ. FT.
MINIMUM LOT FRONTAGE	-	248' 6"
MINIMUM FRONT YARD SETBACK	40'-0"	32'-0"
MINIMUM SIDE YARD SETBACK	30'-0"	89'-0"
MINIMUM REAR YARD SETBACK	40'-0"	320'-0"
MAXIMUM BUILDING COVERAGE	20%	2.16% - 2,145 SF.
MAXIMUM BUILDING HEIGHT	35'-0"	28'-10"
MAXIMUM ACCESSORY HEIGHT	25'-0"	-
MINIMUM ACCESSORY SIDE YARD SETBACK	20'-0"	-
MINIMUM ACCESSORY REAR YARD SETBACK	20'-0"	-

SHEET NO.
C1.0

PROPOSED NOTES

- 201 NEW HARDWOOD FLOOR @ 3/4" THICK
- 202 NEW TILE FLOORING.
- 203 IPE DECKING
- 204 EXPOSE EXISTING STONE PIER. REPOINT & REPAIR AS NECESSARY.
- 205 NEW PT. GRADE BASE & WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 NEW PT. GRADE CASEWORK
- 207 PAINTED GYPSUM WALLS W/ FT. GRADE CROWN, BASE, & CHAIR RAIL / WAINSCOTTING
- 208 NEW PT. GRADE CROWN MOLDING
- 209 BLUESTONE CAP
- 210 STAIN GRADE WINE CELLAR CASEWORK
- 211 STONE PATIO
- 212 NEW VOLUTE & NEWEL POST
- 213 FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 NEW 12"X12" CORK TILE FLOOR



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02835
PROPOSED BASEMENT PLAN

TITLE:
SHEET CONTENTS:

PHASE:	DATE:
SD	05.22.23
DWN BY:	CHKD BY:
AC	HCD

SCALE: 1/4" = 1'-0"

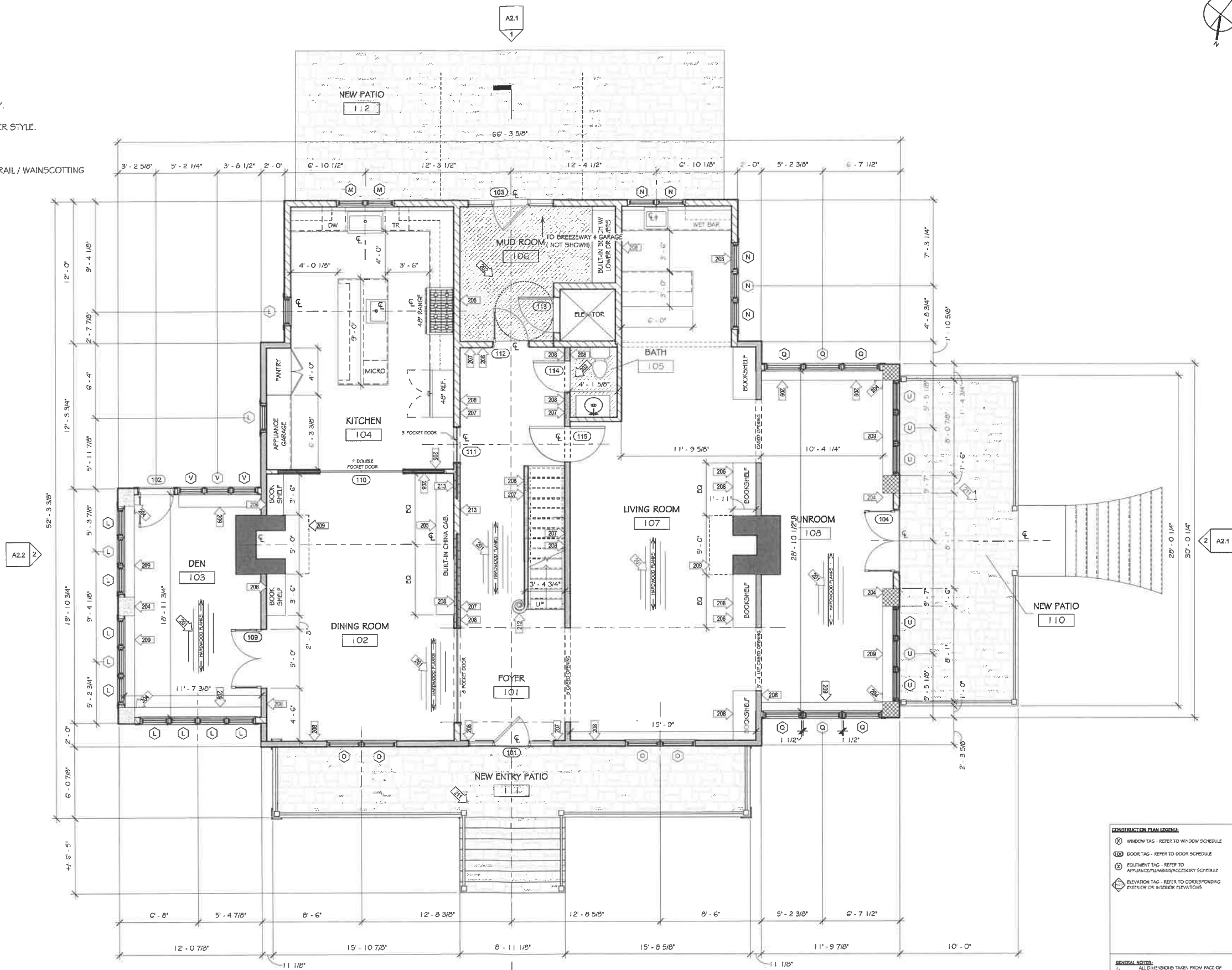
REVISIONS:

STAMP

SHEET #
A1.1

PROPOSED NOTES

- 201 NEW HARDWOOD FLOOR @ 3/4" THICK
- 202 NEW TILE FLOORING.
- 203 IPE DECKING
- 204 EXPOSE EXISTING STONE PIER. REPOINT & REPAIR AS NECESSARY.
- 205 NEW FT. GRADE BASE & WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 NEW FT. GRADE CASEWORK
- 207 PAINTED GYPSUM WALLS W/ FT. GRADE CROWN, BASE, & CHAIR RAIL / WAINSCOTTING
- 208 NEW FT. GRADE CROWN MOLDING
- 209 BLUESTONE CAP
- 210 STAIN GRADE WINE CELLAR CASEWORK
- 211 STONE PATIO
- 212 NEW VOLUTE & NEWEL POST
- 213 FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 NEW 12"x12" CORK TILE FLOOR



1 FIRST FLOOR PLAN
1/4" = 1'-0"

- CONSTRUCTION PLAN LEGEND:**
- ⊙ WINDOW TAG - REFER TO WINDOW SCHEDULE
 - ⊞ DOOR TAG - REFER TO DOOR SCHEDULE
 - ⊚ EQUIPMENT TAG - REFER TO APPLIANCE/PLUMBING/ACCESSORY SCHEDULE
 - ⊕ ELEVATION TAG - REFER TO CORRESPONDING EXTERIOR OR INTERIOR ELEVATIONS

- SPECIAL NOTES:**
1. ALL DIMENSIONS TAKEN FROM FACE OF FRAMING/CONCRETE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING DIMENSIONS IN FIELD AND TO NOTIFY PCD OF ANY DISCREPANCIES DO NOT SCALE DRAWINGS. CONTACT PCD TO VERIFY DIMENSIONS.
 2. WINDOW & DOOR MEASUREMENTS TAKEN TO CENTER OF UNIT. UNLESS OTHERWISE NOTED.
 3. ROUGH HEAD HEIGHTS (R.H.) DIMENSIONS ARE TAKEN FROM TOP OF SUBFLOOR. REFER TO EXTERIOR ELEVATIONS & SECTIONS.
 4. EXACT LOCATION OF ALL M.E.P. ITEMS TO BE COORDINATED IN FIELD WITH HCD & OWNER. CONTRACTOR TO PROVIDE BLOCKING FOR ALL EQUIPMENT, MECHANICAL, & ACCESSORIES AS REQUIRED.
 5. ALL EQUIPMENT & ACCESSORIES TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL CLOSETS TO HAVE METAL HANGING ROD & PAINT GRADE SHELF, UNLESS OTHERWISE NOTED.

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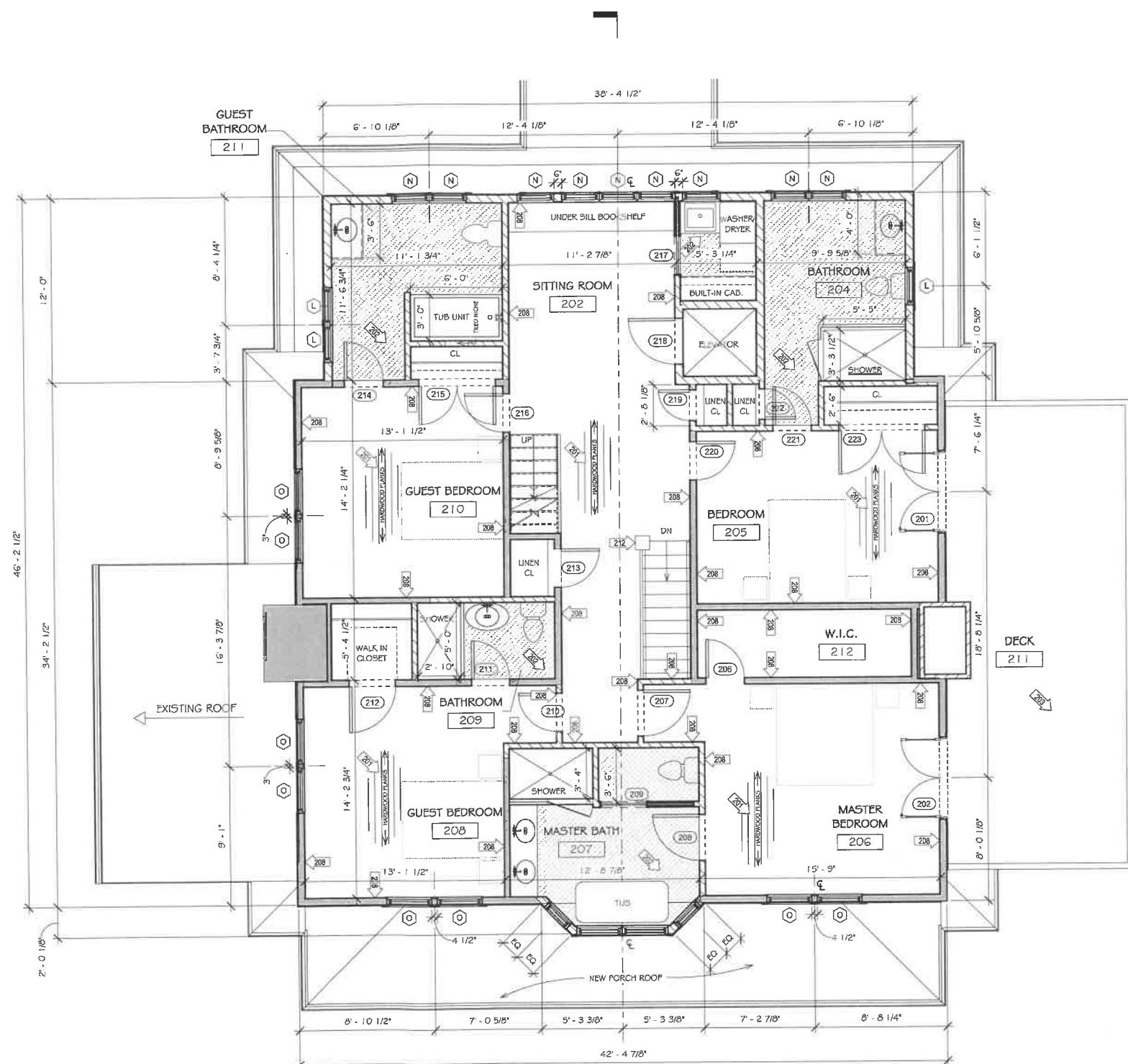
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THE BROOKS RESIDENCE
16 WANUIT ST. JAMESTOWN, RI 02835
PROPOSED 1ST FLOOR PLAN

TITLE:	PHASE:	DATE:
SD	SD	05.22.23
DWN BY:	CHKD BY:	
AC	HCD	
SCALE:	1/4" = 1'-0"	
REVISIONS:		
STAMP		
SHEET #	A1.2	

PROPOSED NOTES

- 201 NEW HARDWOOD FLOOR @ 3/4" THICK
- 202 NEW TILE FLOORING.
- 203 IPE DECKING
- 204 EXPOSE EXISTING STONE PIER. REPOINT & REPAIR AS NECESSARY.
- 205 NEW PT. GRADE BASE & WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 NEW PT. GRADE CASEWORK
- 207 PAINTED GYPSUM WALLS W/ PT. GRADE CROWN, BASE, & CHAIR RAIL / WAINSCOTTING
- 208 NEW PT. GRADE CROWN MOLDING
- 209 BLUESTONE CAP
- 210 STAIN GRADE WINE CELLAR CASEWORK
- 211 STONE PATIO
- 212 NEW VOLLUTE & NEWEL POST
- 213 FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 NEW 12"X12" CORK TILE FLOOR



1 SECOND FLOOR PLAN
1/4" = 1'-0"

2
A3.1

- CONSTRUCTION PLAN LEGEND:**
- ⊗ WINDOW TAG - REFER TO WINDOW SCHEDULE
 - ⊞ DOOR TAG - REFER TO DOOR SCHEDULE
 - ⊙ EQUIPMENT TAG - REFER TO APPLIANCE/PLUMBING/ACCESSORY SCHEDULE
 - ⊕ ELEVATION TAG - REFER TO CORRESPONDING EXTERIOR OR INTERIOR ELEVATIONS

- GENERAL NOTES:**
1. ALL DIMENSIONS TAKEN FROM FACE OF FRAMING/CONCRETE UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT TO VERIFY DIMENSIONS.
 2. WINDOW & DOOR MEASUREMENTS TAKEN TO CENTER OF UNIT, UNLESS OTHERWISE NOTED. EQUISH FRAMING HEIGHT (FULL DIMENSIONS ARE TAKEN FROM TOP OF SUBFLOOR. REFER TO EXISTING ELEVATIONS & SECTIONS).
 3. EXACT LOCATION OF ALL M.E.P. ITEMS TO BE COORDINATED IN FIELD WITH M.E.P. OWNER. CONTRACTOR TO PREPARE BIDDING FOR ALL EQUIPMENT, MATERIAL, & ACCESSORIES AS REQUIRED.
 4. ALL EQUIPMENT & ACCESSORIES TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 5. ALL CLOSETS TO HAVE METAL HANGING ROD & PAINT GRADE SHELF, UNLESS OTHERWISE NOTED.

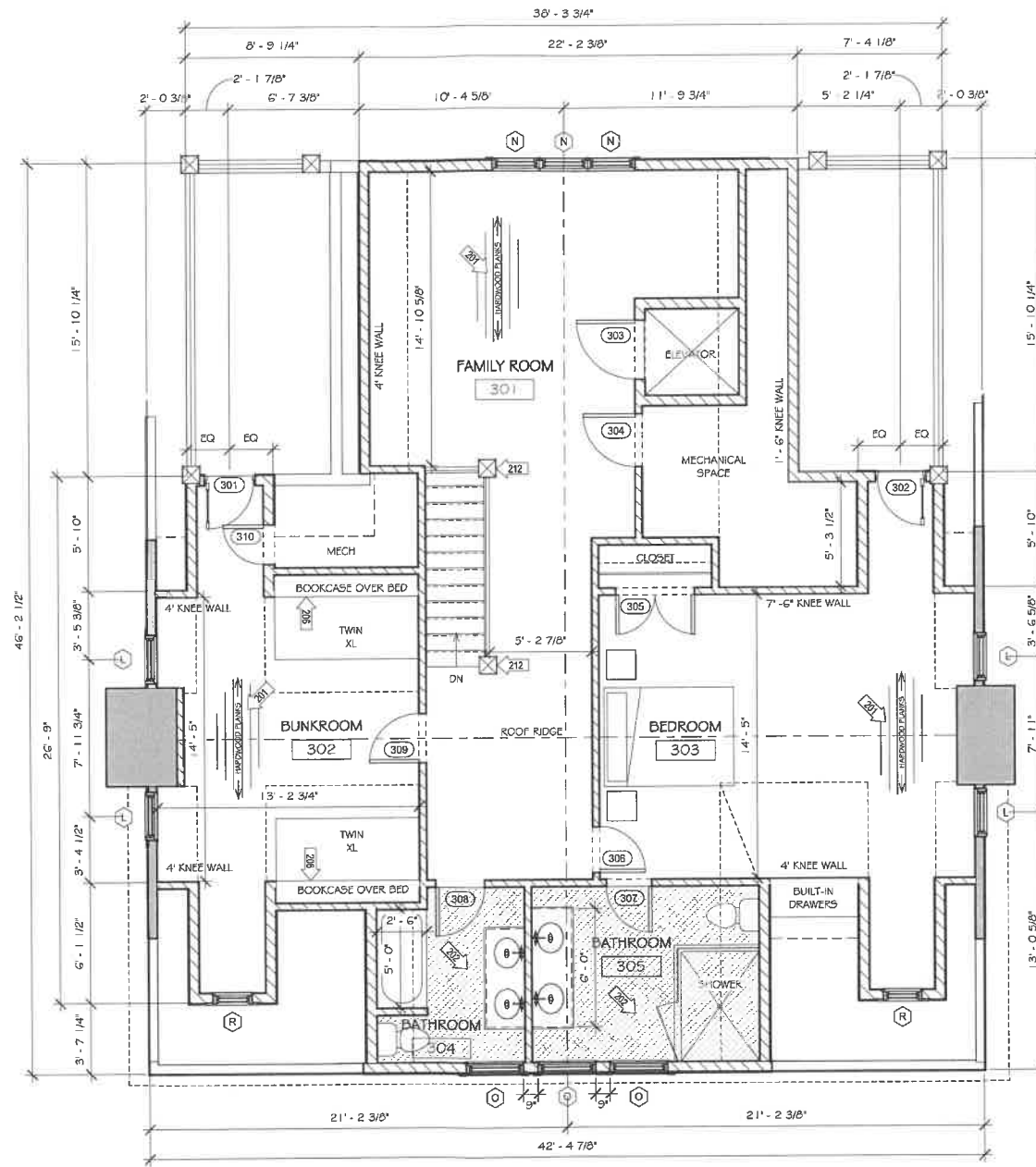
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THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02835
PROPOSED 2ND FLOOR PLAN

TITLE:	PHASE:	DATE:
SD	SD	05.22.23
DWN BY:	CHKD BY:	
AC	HCD	
SCALE:	1/4" = 1'-0"	
REVISIONS:		
STAMP:		
SHEET #	A1.3	

PROPOSED NOTES

- 201 → NEW HARDWOOD FLOOR @ 3/4" THICK
- 202 → NEW TILE FLOORING.
- 203 → IPE DECKING
- 204 → EXPOSE EXISTING STONE PIER. REPOINT & REPAIR AS NECESSARY.
- 205 → NEW FT. GRADE BASE & WALL CABINETS. FULL INLAY, FLAT SHAKER STYLE.
- 206 → NEW FT. GRADE CASEWORK
- 207 → PAINTED GYPSUM WALLS W/ FT. GRADE CROWN, BASE, & CHAIR RAIL / WAINSCOTTING
- 208 → NEW FT. GRADE CROWN MOLDING
- 209 → BLUESTONE CAP
- 210 → STAIN GRADE WINE CELLAR CASEWORK
- 211 → STONE PATIO
- 212 → NEW VOLUTE & NEWEL POST
- 213 → FUR OUT WALL TO MATCH MODERN NOMINAL LUMBER
- 214 → NEW 12"X12" CORK TILE FLOOR



1 THIRD FLOOR PLAN
1/4" = 1'-0"

- CONSTRUCTION PLAN LEGEND**
- ⊙ WINDOW TAG - REFER TO WINDOW SCHEDULE
 - ⊞ DOOR TAG - REFER TO DOOR SCHEDULE
 - ⊚ EQUIPMENT TAG - REFER TO APPLIANCE/PLUMBING/ACCESSORY SCHEDULE
 - ⊕ ELEVATION TAG - REFER TO CORRESPONDING EXTERIOR OR INTERIOR ELEVATIONS

- GENERAL NOTES**
1. ALL DIMENSIONS TAKEN FROM FACE OF TRANSMISSIONS UNLESS OTHERWISE NOTED. VERIFY ALL EXISTING DIMENSIONS IN FIELD AND NOTIFY HCD OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. CONTACT HCD TO VERIFY DIMENSIONS.
 2. WINDOW & DOOR MEASUREMENTS TAKEN TO CENTER OF UNIT UNLESS OTHERWISE NOTED. FOURTH HEAD HEIGHT (H) & ELEVATIONS ARE TAKEN FROM TOP OF SUBFLOOR. REFER TO EXTERIOR ELEVATIONS & SECTIONS.
 3. TRACK LOCATION OF ALL M.E.P. ITEMS TO BE COORDINATED IN FIELD WITH HCD & OWNER. CONTRACTOR TO PROVIDE BIDDING FOR ALL EQUIPMENT, MILLWORK, & ACCESSORIES AS REQUIRED.
 4. ALL EQUIPMENT & ACCESSORIES TO BE INSTALLED PER MANUFACTURING RECOMMENDATIONS.
 5. ALL CLOSETS TO HAVE METAL HANGING ROD & "PART GRADE SHELF" UNLESS OTHERWISE NOTED.

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THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02835
PROPOSED 3RD FLOOR PLAN

TITLE: SHEET CONTENTS:

PHASE:	DATE:
SD	05.22.23
DWN BY:	CHKD BY:
JT	HCD

SCALE: 1/4" = 1'-0"

REVISIONS:

STAMP

SHEET #

A1.4

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THE BROOKS RESIDENCE
 16 WANUT ST. JAMESTOWN, RI 02835

PROPOSED GARAGE PLAN

TITLE: PHASE: 5D DATE: 05.22.23
 OWN BY: AC CHKD BY: HCD

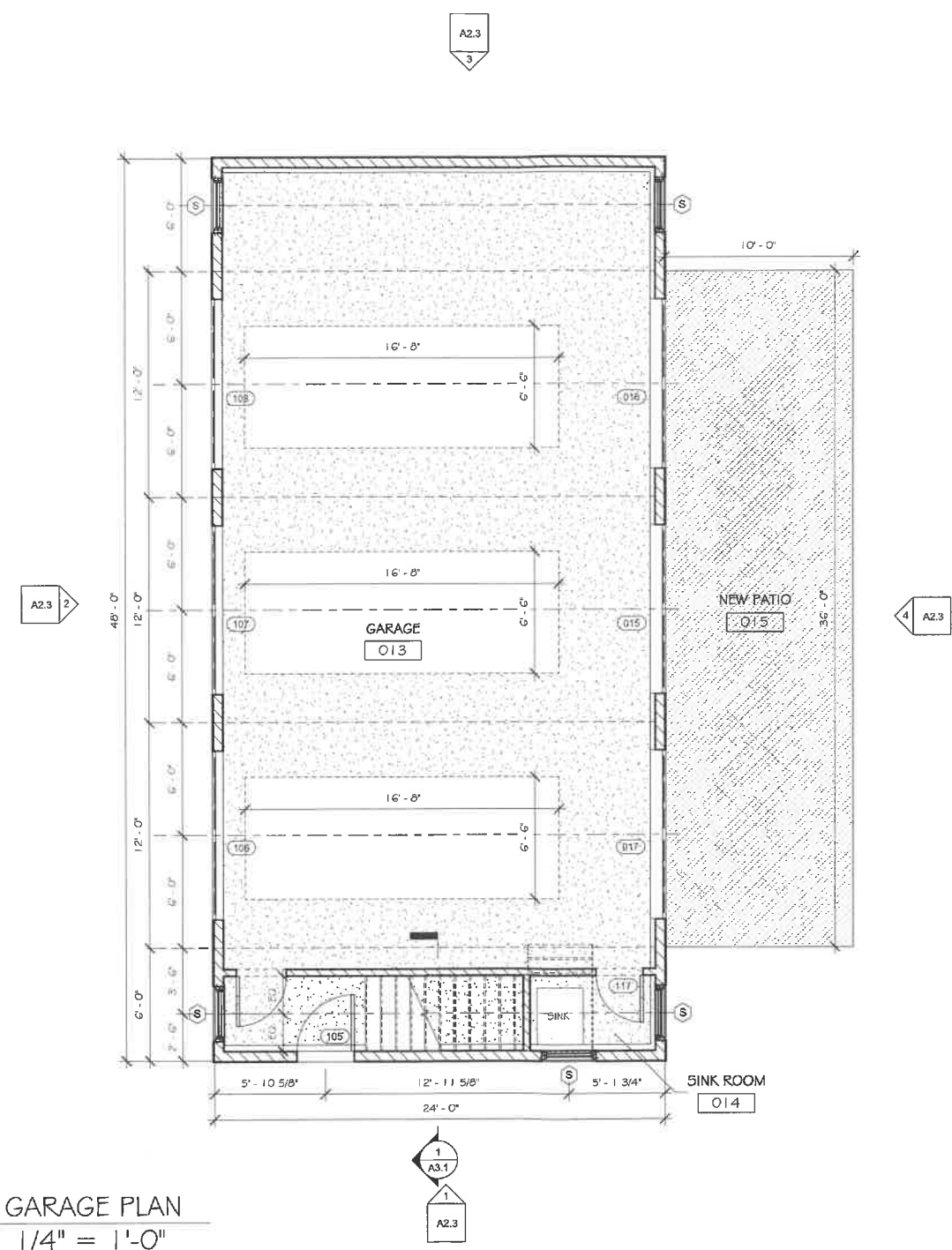
SCALE: 1/4" = 1'-0"

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SHEET #
A1.6



① GARAGE PLAN
 1/4" = 1'-0"

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THE BROOKS RESIDENCE

16 WANUT ST. JAMESTOWN, RI 02835

MFI ELEVATIONS

TITLE:

PHASE: SD DATE: 05.17.23

DWN BY: AC CHKD BY: HCD

SCALE: 1/4" = 1'-0"

REVISIONS:

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- △
- △
- △

STAMP

SHEET #

A2.1



1 SOUTH ELEVATION
 1/4" = 1'-0"



2 WEST ELEVATION
 1/4" = 1'-0"



① NORTH ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"

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THE BROOKS RESIDENCE
16 WANUT ST. JAMESTOWN, RI 02835
MH ELEVATIONS

TITLE:
SHEET CONTENTS:

PHASE: 5D DATE: 05.17.23
OWN BY: AC CHKD BY: HCD

SCALE: 1/4" = 1'-0"

REVISIONS:

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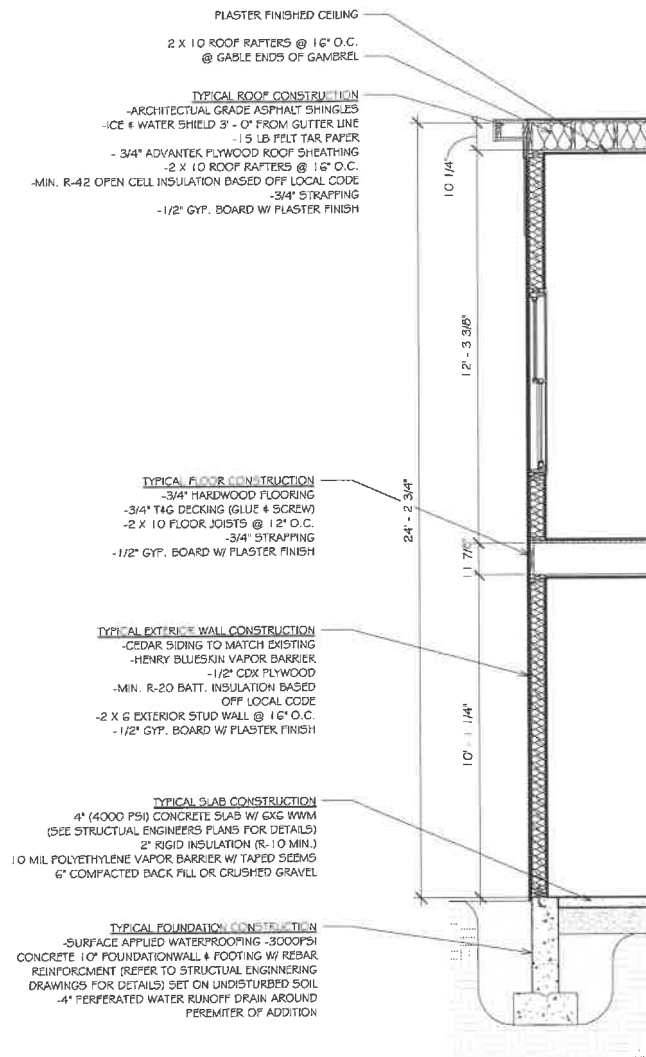
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A2.2

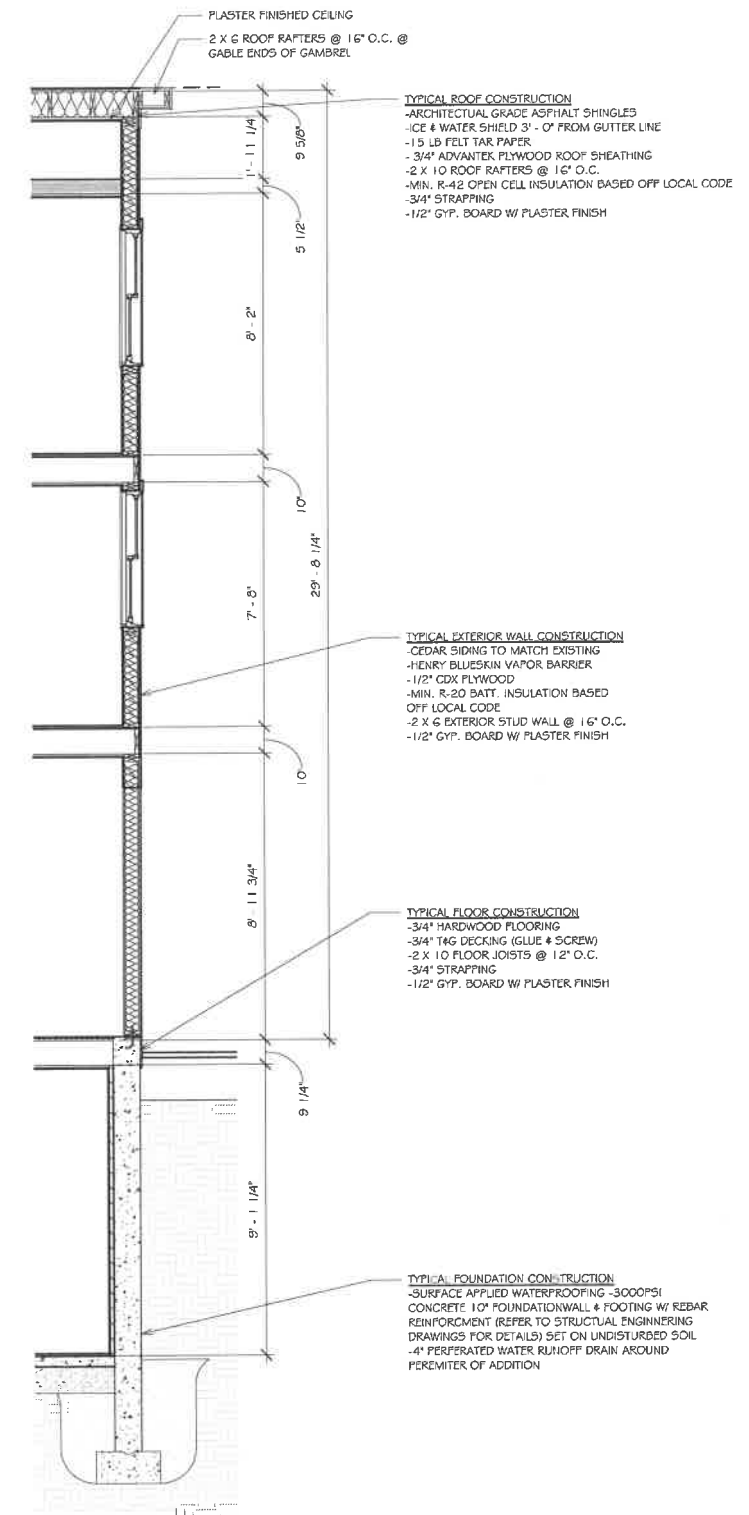
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① TYP. GARAGE WALL SECTION
3/8" = 1'-0"



② TYP. HOUSE WALL SECTION
3/8" = 1'-0"

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THE BROOKS RESIDENCE

16 WANUT ST. JAMESTOWN, RI 02835

TYP. SECTIONS

TITLE: SHEET CONTENTS:

PHASE: SD DATE: 05.22.23

OWN BY: Author CHKD BY: Checker

SCALE: 3/8" = 1'-0"

REVISIONS:

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