

Application of Mizzen Mast Properties LLC which owns property located at 32 Mizzen Ave., and further identified as Assessor's Plat 15, Lot 243 for a Special Use Permit from Art. 3, Sec. 82-314 (High Groundwater Table and Impervious Layer Overlay District) & Art. 6, Sec. 82-601 (Special Use Permits) to construct a two story addition on the south side of the existing home which addition is thirty feet wide and fifteen feet deep. Said property is located in a R40 zone and contains 14,400 sq. ft.

TOWN OF JAMESTOWN
ZONING BOARD OF REVIEW

Application for Exception or Variation under the Zoning Ordinance

Zoning Board of Review;

Jamestown, R.I.

Date: April 20, 2023

Gentlemen:

The undersigned hereby applies to the Zoning Board of Review for an exception or a variation in the application of the provisions or regulations of the zoning ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant MIZZEN MAST PROPERTIES LLC Address 32 Mizzen Ave, Jamestown, RI 02835

Owner Same Address _____

Lessee NA Address NA

1. Location of premises: No. 32 Mizzen Ave

2. Assessor's Plat 15 Lot 243

3. Dimensions of lot: frontage 120 ft. depth 120 ft. Area 14,400 sq. ft.

4. Zoning Districts in which premises are located: Use R-40 (R-20 dimensional standards)
Area 40,000 sq.ft. Height 35ft

5. How long have you owned above premises? 2018

6. Is there a building on the premises at present? Yes

7. Size of existing building Existing one story house 25 ft. wide x 25 ft. deep.

Size of proposed building or alteration See Plan (two story addition to existing house which is 30 ft. wide by 15 ft. deep).

8. Distance of proposed bldg. or alteration from lot lines:

Front: 30.7 ft from Mizzen Ave Rear: 55.5 ft. Left-side: (North) 25.8 ft (from existing house) Right-side: (South) 44 ft.

9. Present use of premises: Residential

10. Proposed use of premises: Residential

Location of septic tank & well on lot: shown on Plan

11. Give extent of proposed alterations: To build a new two story addition to existing house

12. Number of families for which building is to be arranged: 1

13. Have you submitted plans for above to Inspector of Buildings? Yes

Has the Inspector of Buildings refused a permit? Yes

14. Provision or regulation of Zoning Ordinance or State Enabling Act under which application for exception or variance is made:

A Special Use Permit is requested under Article 3, Section 82-314 entitled "High Groundwater and Impervious Layer Overlay District" for development in Subdistrict A and Article 6, Section 82-601 et seq. entitled "Special Use Permits Authorized by this Ordinance".

15. State the grounds for exception or variation in this case:

The Application is in full compliance with all dimensional regulations of the Zoning Code, and all regulations specific to Section 82-314. The only reason that this Application is required to receive a Special Use Permit is because it falls within Subdistrict A of Section 82-314 due to depth to impervious soils, which is 36 inches where 42 inches is required.

Respectfully submitted:



Gregory Fagan, member of
MIZZEN MAST PROPERTIES LLC

Address: 43 Mizzen Ave, Jamestown, RI 02835

Telephone Number: 415-225-2573

NOTE: A LOCATION PLAN AND SKETCH AND DRAWINGS NECESSARY TO GIVE FULL INFORMATION MUST BE FILED WITH THE APPLICATION.



Office of the Town Planner
MEMORANDUM

TO: Jamestown Zoning Board of Review
FROM: Lisa Bryer, AICP Town Planner for The Jamestown Planning Commission
RE: Motion for Zoning Section 82-314: High Groundwater Table and Impervious Overlay District, Sub-District A – Mizzen Mast Properties LLC: AP 15, Lot 243; 32 Mizzen Avenue, Jamestown, RI
DATE: April 20, 2023

At the April 19, 2023 Planning Commission meeting, the Planning Commission voted unanimously to recommend to the Jamestown Zoning Board, approval of the application of Mizzen Mast Properties LLC: AP 15, Lot 243; 32 Mizzen Avenue, Jamestown, RI; being reviewed under Zoning Ordinance Section 314 - High Groundwater Table and Impervious Overlay District Sub-District A review in accordance with the plans entitled "Town Submission for Mizzen Mast Properties LLC., Located at 32 Mizzen Jamestown RI" dated 2/22/23, prepared by American Engineering, Inc.", and the supporting material prepared by American Engineering, Inc., 400 South County Trail – Suite A 201, Exeter, RI 02822, 401-294-4090.

The recommendation for approval is based on the following findings of facts and recommended conditions of approval as noted in the Memo from Jean Lambert, PE dated March 14, 2023 at the Planning Commission meeting:

Findings of Fact Section 314

Existing Conditions:

1. The property is 14,400 square feet (sf) in area;
2. The existing site is developed with a house, shed and concrete pad (total existing impervious area is 938 sf or 6.5%);
3. Topography on the lot slopes from east to west (towards Mizzen Avenue) on the site;
4. There are no freshwater wetlands on the property;
5. Soil evaluation results show that the site falls under Sub-district "A" requirements of the High Groundwater Table and Impervious Overlay District with 48" to the seasonal highwater table and 36" to impervious soil;
6. The **maximum impervious cover allowed is 13.0% or 1872 sf.**

Proposed Site Conditions:

7. The applicant is proposing to construct an addition (447 sf) and a porch (46 sf). The concrete pad (6 sf) will be removed;
8. A crushed stone driveway will be installed;
9. The existing OWTS (RIDEM #0315-2267: 2-bedroom conventional) is current for maintenance (last inspection January 2021);
10. A rain garden is proposed to mitigate the increase stormwater runoff associated with the site improvements;
11. A rain garden with a total treatment volume of 111 cf is will be installed (100 cf required);
12. The **total proposed impervious cover will be 1425 sf (9.9%)**, less than the permitted 13.0%
13. The applicant's representative Patrick Freeman, PE of American Engineering, Inc, was accepted as an expert witness, and present at the Planning Commission meeting representing the application before the Planning Commission on April 19;
14. Jamestown Engineer Jean Lambert provided correspondence to the Building File and Lisa Bryer, Town Planner dated March 14, 2023 regarding the application (attached).

Recommended Conditions of Approval

1. The proposed project complies with the requirements of the HGWT Ordinance;
2. NO additional bedrooms allowed – existing OWTS permit allows 2 bedrooms only;
3. Erosion and sediment controls must be installed at the down gradient limits of site disturbance and maintained until stabilization of the site is attained;
4. After installation, maintenance and inspection of the OWTS shall continue as required by the Town Onsite Wastewater Management Ordinance;
5. The rain gardens shown on the approved site plans must be installed and maintained as outlined on the notes on the approved site plan and the operation and maintenance plan. The Operation and Maintenance (O & M) Plan (reproduced in 8.5" x 11" for the stormwater mitigation (rain garden) shall be recorded in the Office of the Town Clerk with the Zoning Approval and evidence of such shall be provided to the Zoning Enforcement Officer as well as the Planning Department;
6. Any additional future site work that increases the area of impervious coverage will require a review, following the requirements of the High Groundwater Ordinance.

Attachments: 1) Memo from Jean Lambert, PE dated March 14, 2023
2) A copy of the Plan referenced above dated 02/02/23

C: Building Official/ZEO
Mizzen Properties, LLC, Applicant
American Engineering



Town of Jamestown, Rhode Island

Engineering/GIS Office

93 Narragansett Ave ♦ Jamestown, RI 02835 – 1509

Date: April 18, 2023

To: Building File
Lisa Bryer, Town Planner

From: Jean Lambert, P.E.

RE: Zoning Section 82-314: High Groundwater Table and Impervious Overlay District, **Sub-District A**
Lupineck/Chew: AP 1, Lot 332; 6 Middle Street, Jamestown, RI

I have reviewed the site plans and supporting documents for Gwendolyn Lupinek and Franklin Chew, 6 Middle Street, AP1 Lot 332, Jamestown RI prepared by Principe Company and Attorney James Callaghan for the above referenced property. The site plan is "Onsite Wastewater Treatment System Alteration for AP1 Lot 332, 6 Middle Street in Jamestown, RI" revision dated 1/5/2023.

Existing Site/Soil Information:

The property is 17,899 square feet (sf) in area. The existing site is developed with a 1688 sf house, gravel driveway and a garage (total existing impervious area, which includes a walkway and two small concrete pads, is **2,069 sf or 11.6%**). Topography on the lot slopes from west to east on the site, towards Narragansett Bay.

Soil evaluation results show that the site falls under **Sub-district "A"** requirements of the High Groundwater Table and Impervious Overlay District with 0" from original grade to the seasonal highwater table and 0" from original grade to impervious soil. The maximum impervious cover allowed is **8.0% or a maximum of 1432 sf**. The existing site exceeds the allowable area by 637 sf.

Proposed Site:

The applicant is proposing to raze the existing house and rebuild a new, slightly smaller house (1645 sf) on the same footprint. A new 3-bedroom advanced treatment OWTS (RIDEM #2115-1647: Advantex to bottomless sand filter) and rain garden are proposed. Two of the existing concrete pads will be removed. The total proposed impervious cover will be **2000 sf (11.2%), a decrease of 69 sf**.

The applicant is proposing to decrease the impervious area on the site. However, Town policy is to treat a razed house as starting from raw land. Therefore, stormwater peak flow mitigation is required for the entire new rooftop. The total required treatment volume is 422 cf. The rain garden and subsurface infiltration system provides 422 cf of storage. The stormwater systems will provide water quality treatment and peak flow mitigation for a 10-year frequency storm event.

Recommendations/Conclusions:

- The project exceeds the 8% allowable impervious cover but otherwise complies with the requirements of the HGWT. A recommendation from the Planning Board is required before requesting a Special Use Permit from the Zoning Board. A reduction in overall impervious area is proposed.
- The site is an existing nonconforming lot; dimensional variances will be required at zoning for the front (40' required), rear (40' required) and side (30' required) setbacks.

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Lupineck/Chew
HGWT Review Page 2
April 18, 2023

- Erosion and sediment controls must be installed at the down gradient limits of site disturbance and maintained until stabilization of the site is attained.
- After installation, maintenance and inspection of the OWTS shall continue as required by the Town Onsite Wastewater Management Ordinance.
- The rain garden and subsurface infiltration system shown on the site plans must be installed and maintained as described in the submitted operation and maintenance plan.
- Any future site work that increases the area of impervious coverage will require a review following the requirements of the High Groundwater Ordinance.



Application Form
Jamestown Zoning Section 314
High Ground Water Table and
Impervious Layer Overlay District

SECTION I: GENERAL INFORMATION

PROPERTY OWNER: Mizzer Mast Properties, LLC. TELEPHONE: (415) 225-2573
 MAILING ADDRESS: 32 Mizzer Avenue, Jamestown, RI 02835

SITE LOCATION: 32 Mizzer Avenue (STREET)

PLAT: 15 LOT: 243 LOT AREA: 14,400 s.f.

PROJECT DESCRIPTION: Applicant is proposing to construct a 447 s.f. addition and 46 s.f. porch to the existing dwelling.

SECTION II: SOIL INFORMATION

CLASS IV SOIL EVALUATOR:

NAME: Matthew J. Cotta RIDEM LICENSE #: 4044 TELEPHONE: (401) 294-4090

NUMBER OF SOIL EVALUATIONS: 1 (ATTACH ALL SOIL EVALUATIONS)

DEPTH TO SEASONAL HIGH GROUNDWATER TABLE (IN INCHES): 48"

DEPTH TO CATEGORY 9 SOILS (IN INCHES): 36"

OFFICE ONLY: SUB-DISTRICT CLASSIFICATION: A or B

SECTION III: OWTS INFORMATION

TYPE OF OWTS: Unknown RIDEM PERMIT #: 0315-2267

DISTANCE BETWEEN THE WELL AND LEACHFIELD: 42'±

OWTS AND WELL LOCATED ON THE SAME LOT AS THE STRUCTURE IT SERVES? OR N

SECTION IV: SITE INFORMATION

TYPE OF STORMWATER CONTROL SYSTEM: Rain Garden

TOTAL BUILDABLE AREA (TOTAL LOT AREA - WETLAND AREA): 14,400 sf

PROPOSED IMPERVIOUS AREA: 1,425 sf

% IMPERVIOUS COVERAGE ALLOWED: 13%

% IMPERVIOUS COVERAGE PROPOSED: 9.9%

(AREA IMPERVIOUS / TOTAL BUILDABLE AREA)

SECTION V: CONTACT INFORMATION

OWTS DESIGNER:
NAME: _____ RIDEM LICENSE #: _____

ADDRESS: _____

SIGNATURE: _____ DATE: _____

TELEPHONE: _____ EMAIL: _____

STORMWATER SYSTEM DESIGNER:
NAME: Patrick J. Freeman STATE LICENSE #: 13125

ADDRESS: 400 South County Trail, Suite A201
Exeter, RI 02822

SIGNATURE: *Patrick J. Freeman* DATE: 3/1/23

TELEPHONE: (401) 294-4090 EMAIL: Patrick@AmericanEngineeringRI.com

APPLICANT CONTACT INFORMATION:
NAME: Mizzen Mast Properties, LLC.

ADDRESS: 32 Mizzen Avenue
Jamestown, RI 02835

SIGNATURE: Gregory A Fagan DATE: 03/01/2023
Digitally signed by Gregory A Fagan
DN: cn=Gregory A Fagan, ou=US, ou=Home Owner, email=gregoryafagan@gmail.com
Reason: I am the author of this document
Location
Date: 2023.03.01 12:09:45

TELEPHONE: 415-225-2573 EMAIL: gregoryfagan@gmail.com

SUBMISSION REQUIREMENTS

Submit one copy of the following items for preliminary review. Applicant will be notified when additional copies are required for Planning Board review.

- Application Form
- Site Plan
- Soil Evaluations (include all results for site)
- Stormwater Analysis
- Project Narrative
- Proposed Building Floor Plans (if applicable)
- Approved RIDEM OWTS permit
- O&M Requirements for Stormwater Mitigation

Contact Jean Lambert at 423-7193 or jlambert@jamestownri.net with questions regarding HGWT applications.

WATER VOLUME CALCULATIONS
FOR
MIZZEN MAST PROPERTIES, LLC.

LOCATED AT

32 Mizzen Avenue
Jamestown, Rhode Island

JAMESTOWN ASSESSOR'S MAP 15, LOT 243

PREPARED FOR

Mizzen Mast Properties, LLC.
32 Mizzen Avenue
Jamestown, RI 02835

February 22, 2023

Introduction

Mizzen Mast Properties, LLC. is proposing to construct a 447 s.f. addition and 46 s.f. porch on its existing 2-bedroom dwelling located at 32 Mizzen Avenue in Jamestown. The lot is designated as Lot 243 on Assessors Plat 15 and consists of 14,400 s.f. of land. The site is located on the easterly side of Mizzen Avenue. A pervious crushed stone driveway is proposed to access the site. An existing, 2-bedroom OWTS, services the dwelling per RIDEM Application #0315-2267. The existing dwelling is serviced by an existing private drinking water well and public utilities.

Flood Zone Designation:

The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM Community Panel No. 44005C0067J, dated September 4, 2013) indicates that the site falls mostly within Zone X Area of minimal chance annual flooding.

Runoff Calculations

Stormwater runoff mitigation will be provided by the proposed rain garden located in the southwesterly corner of the parcel. The rain garden is designed to capture the increase in runoff volume created by the proposed conditions for the 10-year, 24-hour storm event. Specific runoff percentages have been established by the Town for various ground covers for performing runoff volume calculations. See attached Excel sheet for details.

Summary

Mizzen Mast Properties, LLC. is proposing to construct a 447 s.f. addition and 46 s.f. porch on its existing 2-bedroom dwelling located at 32 Mizzen Avenue in Jamestown. The project has been designed in accordance with the Town of Jamestown's regulations for managing stormwater as well as "The State of Rhode Island Stormwater management Guidelines for Individual Single-Family Residential Lot Development."

JOB NUMBER: 120180
 DATE: 2/15/2023

| | |
|----------|------------------|
| FOR: | MMP, LLC. |
| ADDRESS: | 32 Mizzen Avenue |
| TOWN: | Jamestown |

JAMESTOWN DRAINAGE CALCULATIONS
 BASED ON 10-YEAR STORM EVENT (4.9")

EXISTING:

| GROUND COVER | AREA (FT ²) | VOLUME (FT ³) | PERCENT RUNOFF | RUNOFF (FT ³) |
|---------------|-------------------------|---------------------------|----------------|---------------------------|
| BARE SOIL | 0 | 0.00 | 40% | 0.00 |
| GRASSLAND | 0 | 0.00 | 35% | 0.00 |
| CULTIVATED | 0 | 0.00 | 30% | 0.00 |
| TIMBER/FOREST | 0 | 0.00 | 15% | 0.00 |
| LAWN 0-5% | 0 | 0.00 | 15% | 0.00 |
| > 0-5% | 13462 | 5496.98 | 30% | 1649.10 |
| ROOFS | 938 | 383.02 | 95% | 363.87 |
| PAVED AREAS | 0 | 0.00 | 85% | 0.00 |
| GRAVEL | 0 | 0.00 | 60% | 0.00 |
| TOTAL: | 14400 | 5880.00 | N/A | 2012.96 |

PROPOSED:

| GROUND COVER | AREA (FT ²) | VOLUME (FT ³) | PERCENT RUNOFF | RUNOFF (FT ³) |
|---------------|-------------------------|---------------------------|----------------|---------------------------|
| BARE SOIL | 0 | 0.00 | 40% | 0.00 |
| GRASSLAND | 0 | 0.00 | 35% | 0.00 |
| CULTIVATED | 0 | 0.00 | 30% | 0.00 |
| TIMBER/FOREST | 0 | 0.00 | 15% | 0.00 |
| LAWN 0-5% | 0 | 0.00 | 15% | 0.00 |
| > 0-5% | 12495 | 5102.13 | 30% | 1530.64 |
| ROOFS | 1425 | 581.88 | 95% | 552.78 |
| PAVED AREAS | 0 | 0.00 | 85% | 0.00 |
| GRAVEL | 0 | 0.00 | 60% | 0.00 |
| CRUSHED STONE | 480 | 196.00 | 15% | 29.40 |
| TOTAL: | 14400 | 5880.00 | N/A | 2112.82 |

TOTAL STORAGE REQUIRED (FT³) = **99.86**

| RAIN GARDEN (8" DEEP): | | |
|------------------------|---------------|------------------|
| | TOP OF GARDEN | BOTTOM OF GARDEN |
| ELEV. | 102.00 | 101.33 |
| AREA (SF) | 223.00 | 109.00 |
| STORAGE | 111.22 | |

STORAGE PROVIDED (FT³) = **111.22** > 99.86 ✓

Operation and Maintenance Agreement for 32 Mizzen Avenue

Date 2/22/2023

Rain Garden Notes:

1. The bottom of the rain gardens should be level to encourage the even distribution of stormwater and increase infiltration capacity.
2. The rain gardens should have a 2-4 inch amended soil layer and a 2-3 inch layer of non-dyed aged shredded hardwood mulch. The mulch should be removed and replenished to original depth every other year.
3. The amended soil layer should be a 50/50 mixture of the excavated native soil and mature organic compost.
4. A crushed stone entrance should be installed at the inflow to prevent channeling.
5. A berm to detain stormwater should be constructed along the downhill side perpendicular to the slope.
6. Be sure that the soil within the rain gardens does not become compacted by construction activity. If soil becomes severely compacted it may need to be tilled and amended to maintain proper drainage.
7. Rain gardens should be inspected by the designer following at least the first two precipitation events of at least 1.0 inches to ensure that the system is functioning properly. Thereafter, the rain garden shall be monitored and maintained by the property owner or designee to assure proper functioning, plant growth and survival. Plants shall be replaced on an as-needed basis during the growing season.
8. Silt/sediment shall be removed from the rain garden when the accumulation exceeds one inch, or when water ponds on the surface for more than 48 hours. The top few inches of material shall be removed and shall be replaced with fresh soil mixture and mulch.
9. Pruning or replacement of woody vegetation shall occur when dead or dying vegetation is observed.
10. Soil erosion gullies shall be repaired when they occur.
11. Fertilizer or pesticides shall not be applied to plants within the rain garden.
12. Perennial plants and ground cover shall be replaced as necessary to maintain an adequate vegetated ground cover.
13. All roof leaders are to be diverted into the proposed rain garden.
14. The rain garden should be inspected annually by the property owner or designee and maintenance provided by self or professional if needed.

General Notes:

1. The driveway shall remain pervious unless further approval is granted by the Town of Jamestown.
2. No fence shall be erected on the property that will block or impede surface water flow to or through the property. Fences may be erected that will allow groundwater to flow under.



STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

Department of Environmental Management
Office of Water Resources
Onsite Wastewater Treatment Systems Program



Site Evaluation Form
Part A - Soil Profile Description

Application Number Drainage

Property Owner: Gregory FAGAN
Property Location: 32 MIZZEN AVE JAMESTOWN
Date of Test Hole: 7/21/20
Soil Evaluator: MATTHEW COTTA License Number: D4044
Weather: clear 88° Shaded: Yes No Time: 1:00

| TH Horizon | Depth | Horizon Boundaries | | Soil Colors | | Re-Dox | | Texture | Structure | Consistence | Soil Category |
|------------------|--------|--------------------|------|-------------|--------------------|--------|-----------|---------|-----------|-------------|---------------|
| | | Dist | Topo | Matrix | Re-Dox Features | Ab. | S. Contr. | | | | |
| A _p | 0-8" | a | S | 10YR 3/3 | — | | | FSL | 1-M Sbk | FR | 4 |
| B _w | 8-24" | C | W | 2.5Y 4/4 | — | | | FSL | 1-M Sbk | VFR | 4 |
| 2Cd ₁ | 24-36" | g | W | 5Y 3/1 | — | | | SIL | OM | FIRM | 8 |
| 2Cd ₂ | 36-86" | — | — | 5Y 3/1 | 10YR 4/6 5Y 4/1 | C-M-P | | SIL | OM | FIRM | 9 |
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TH 1 Soil Class Loess over Dense Till Total Depth 8'-6" Impervious/Limiting Layer Depth none @ 8'-6" (og) GW Seepage Depth none @ 8'-6" SHWT .4' (og)

TH _____ Soil Class _____ Total Depth _____ Impervious/Limiting Layer Depth _____ (og) GW Seepage Depth _____ SHWT _____ (og)

Comments: _____





Part B

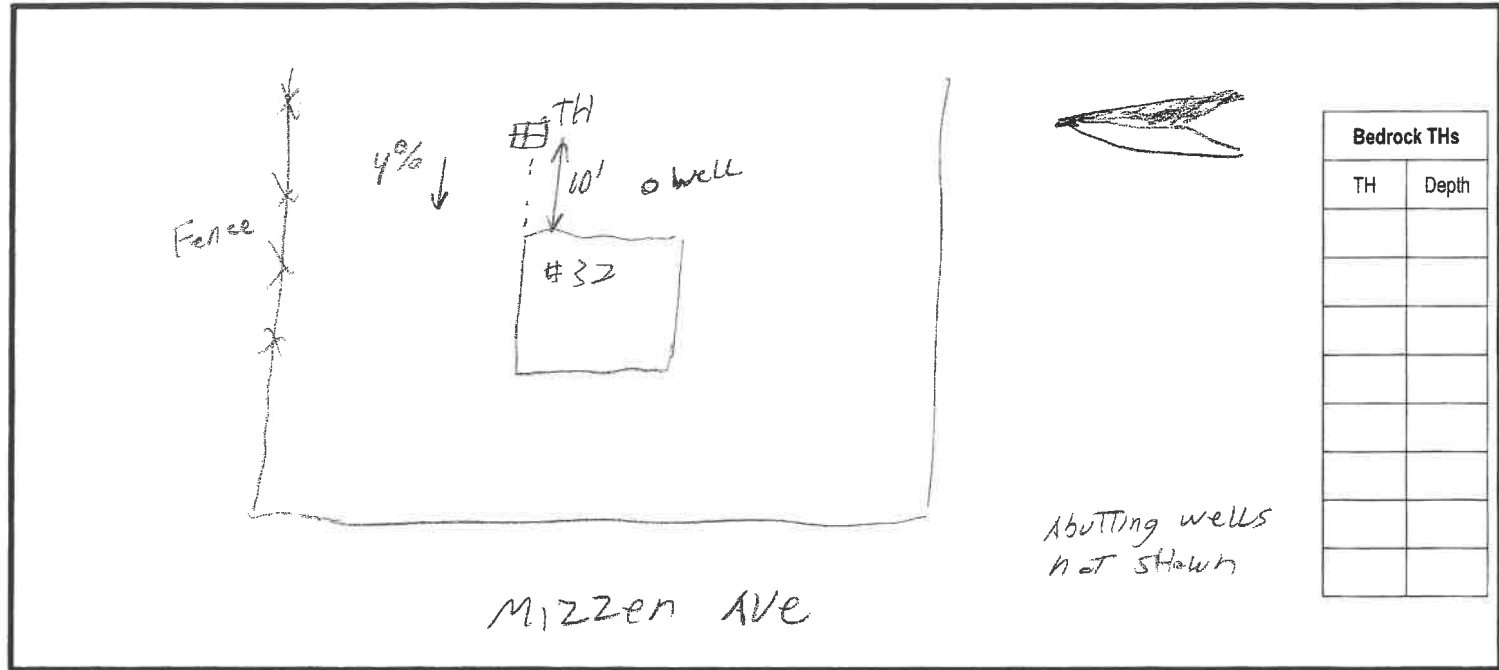
Site Evaluation – to be completed by Soil Evaluator or Class II or III Designer

Please use the area below to locate:

1. Test holes and bedrock test holes,
 2. Approximate direction of due north,
 3. Offsets from all test holes to fixed points such as street, utility pole, or other permanent, marked object.*
- *OFFSETS MUST BE SHOWN**

Key:

-  Approximate location of test holes
-  Approximate location of bedrock test holes
-  Estimated gradient and direction of slope
-  Approximate direction of due north



1. Relief and Slope: 4% west
2. Presence of any watercourse, wetlands or surface water bodies, within 200 feet of test holes? If yes, locate on above sketch. NO YES
3. Restrictive Layer or Bedrock within 4' below original ground within 25 feet of test hole? Provide all test hole locations & depths above. NO YES
4. Presence of existing or proposed private drinking water wells within 200 feet of test holes? If yes, locate on above sketch. NO YES
5. Public drinking water wells within 500 feet of test holes? If yes, locate on above sketch. NO YES
6. Is site within the watershed of a public drinking water reservoir or other critical area defined in Rule 6.42? NO YES
7. Has soil been excavated from or fill deposited on site? If yes, locate on above sketch. NO YES
8. Site's potential for flooding or ponding: NONE SLIGHT MODERATE SEVERE
9. Landscape position: side slope
10. Vegetation: Lawn
11. Indicate approximate location of property lines and roadways.
12. Additional comments, site constraints or additional information regarding site: _____

Certification
 The undersigned hereby certifies that all information on this application and accompanying forms, submittals and sketches are true and accurate and that I have been authorized by the owner(s) to conduct these necessary field investigations and submit this request.

Part A prepared by: [Signature] License # 04044 Part B prepared by: [Signature] License # 04044

DO NOT WRITE IN THIS SPACE

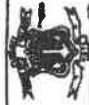
Witnessed Soil Evaluation Decision: Concur Inconclusive Disclaim

Unwitnessed Soil Evaluations Decision: Accept Inconclusive Disclaim

Wet Season Determination required Additional Field Review Required

Explanation: _____

 Signature Authorized Agent Date



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
INDIVIDUAL SEWAGE DISPOSAL SYSTEM APPLICATION

FOR DEM USE ONLY

APPLICATION No. 0305-2267 DATE RECEIVED 10.2.03 AMOUNT RECEIVED \$ 100 CHECK # 1440 COST CODE 014

TYPE OF APPLICATION

CHECK IF APPLICABLE

CERTIFICATION

- NEW BUILDING CONSTRUCTION
- ALTERATION
- REPAIR
- TRANSFER

- I/A TECHNOLOGY
- TYPE OF SYSTEM
- VARIANCE

SITE INFORMATION

NO. STREET 32 MIZZEN ST CITY/TOWN JAMES TOWN POLE # _____
 PLAT NUMBER 15 LOT NUMBER 243 SUBDIVISION LOT NUMBER _____
 LOT SIZE 15,625 SQUARE FEET _____

SUBDIVISION NAME _____
 PRELIMINARY SUBDIVISION SUITABILITY # _____

OWNER INFORMATION

LAST NAME FAGAN FIRST NAME ROBERT M.I. J.
5872 McPherson Dr CITY/TOWN ROSWELL ZIP CODE GA 30075

DEM APPLICATION HISTORY

PREVIOUS WATER TABLE/ISDS # YES NO APPLICATION # _____
 DEPTH TO VERIFIED WATER TABLE _____ How Determined N/A
 TEST HOLE # _____ DATE EXCAVATED 1/1 WETLANDS WITHIN 200' OF ISDS YES NO
 WETLAND PERMIT YES NO PERMIT # _____ DATE OF APPROVAL 1/1
 Groundwater Quality Certification attached? YES NO (Required for a system ≥ 10,000 gpd.)

DESIGN INFORMATION

BUILDING USE: Residential Commercial
 Other TANK REPLACEMENT ONLY
 WATER SUPPLY: public water public well private well
 # OF DESIGN UNITS 2
 UNIT DESIGN FLOW 150 gallons per _____ (unit) TOTAL DAILY FLOW 300 gallons
 TANK SIZE 1000 gallons DESIGN PERCOLATION RATE N/A minutes/inch
 MINIMUM REQUIRED LEACHFIELD AREA N/A square feet
 LEACHFIELD TYPE N/A
 TOTAL AREA OF LEACHFIELD PROVIDED N/A SQUARE FEET

Signature of Designer James H. Belous Jr. (print), the undersigned licensed ISDS designer, certifies that I prepared this application and accompanying forms, submittals, plans and sketches in accordance with the rules and regulations of the Rhode Island Department of Environmental Management pertaining to individual sewage disposal systems and that all the information provided on this application and accompanying forms, submittals, plans and sketches is true and accurate.

Signature of Designer James H. Belous Jr. OCT - 2 2003
 Designer License Number 21005 Phone # 91-283-8104

Business/Company Name Design Systems Inc.
 I certify that: a) I am the owner of the property located under site information on this application, b) I will hire a licensed ISDS installer to install the system proposed hereon, c) the system will be installed in strict accordance with this application, d) I will hire and retain the licensed ISDS designer or record to witness and inspect the installation of the system, e) I assume all responsibility for the truth and accuracy of this application and all liability and responsibility for any improper installations of the system on this site and agree to hold the Department of Environmental Management harmless from any and all claims relating whatsoever to the system.

Owner(s) Signature Robert Fagan Phone Number 1-770-993-5625

HERMIT APPROVAL SECTION

TO BE COMPLETED BY A DEM OFFICIAL; DO NOT WRITE BELOW THIS LINE

Based upon the representations of the owner, and the owner's agents, including the representations of the owner's licensed ISDS designer, this application for an individual sewage disposal system is hereby approved based upon the truth and accuracy of all information submitted. The Department of Environmental Management assumes no responsibility or liability for the future safe operation or maintenance of the address self system, of the fitness or suitability of this system to this site, nor does it assume any responsibility for the accuracy and truth of the owner's, or the owner's agents' representations. This approval is subject to future suspension and revocation in the event that subsequent examination reveals any data indicated on any application, form, submittal, plan or sketch to be incorrect, or not in compliance with the regulations or any condition at the site are such that the approved design is not in accordance with the regulations, or in the event that the system discharges sewage on or to the ground surface, or on or to any watercourse or, fails to operate satisfactorily in any other manner.

IMPORTANT: Please note the circled additional terms of approval
 A. Designer of record must witness and inspect all stages of construction and must submit a certificate of construction in accordance with SD27.00.
 B. Designer of record must contact DEM 24 hours before start of construction.
 C. Bottoms of leaching area excavation must be inspected by the DEM prior to placement of any gravel or stone.
 D. System installation must be inspected by DEM prior to covering any component of the system with backfill.
 E. Approved per variance, decision dated _____, all requirements, conditions and stipulations of which shall be strictly adhered to.
 F. I/A Technology: additional specific installation, operation, or maintenance requirements may apply (see DEM I/A Technology certification for this system type).
 G. Proper erosion and sedimentation controls must be installed prior to the start of construction.
 H. Other _____

APPROVED FOR REPAIR OF SYSTEM
 ONLY NO NEW BUILDING CONSTRUCTION
 IS ALLOWED UNDER THIS APPROVAL.

TANK REPLACEMENT ONLY
 Signature of Department of Environmental Management Official Andrew Peloo
 Date of Approval 10.22.03 Date of Expiration 10.22.04

DEM

SEE INSTRUCTIONS ON REVERSE SIDE

SCALE 30

APPROVED FOR THE TOWN OF JAMES TOWN
ONLY. NO OTHER TOWNSHIP OR COUNTY
IS ALLOWED TO USE THIS APPROVAL.

REPAIR PLAN

PLAT 15 LOT 243

SITE ADDRESS 32 MIZZEN AVE

TOWN JAMES TOWN

PREPARED FOR BOB FAGAN

PREPARED BY BRIGGS LIC # 0001005

INVERT TABLE

BUILDING SEWER EXIST. D-BOR IN N/A

SEPTIC TANK IN 98.5 D-BOR OUT N/A

SEPTIC TANK OUT 98.33 SYSTEM EXIST.

PUMP IN N/A OTHER _____

PUMP OUT N/A

CONSTRUCTION NOTES

- MANTAIN INVERT ELEVATION 98.33 FOR 25 FT. AROUND SYSTEM
- CLEAR ALL TREES AND SHRUBS WITHIN 10 FT. OF THE SYSTEM
- ALL EXISTING WELLS WITHIN 100 FT. OF PROPOSED SYSTEM SHOWN ON PLANS
- INSTALL SDR 35 OR EQUAL PIPE THROUGHOUT SYSTEM
- MANHOLE ON SEPTIC TANK TO BE BROUGHT UP TO FINISH GRADE
- NO SUBSURFACE DRAINAGE TO BE EXISTING OR INSTALLED WITHIN 25 FT. OF SYSTEM.
- ALL EXISTING DRAINAGE WITHIN 50 FT. OF SYSTEM SHOWN ON PLANS.
- ALL EXISTING PUBLIC WELLS WITHIN 400 FT. OF SITE SHOWN ON PLANS

ADDITIONAL NOTES:

B.M. = 100.00 GRADE AT EXIST TANK.

TANK REPLACEMENT ONLY

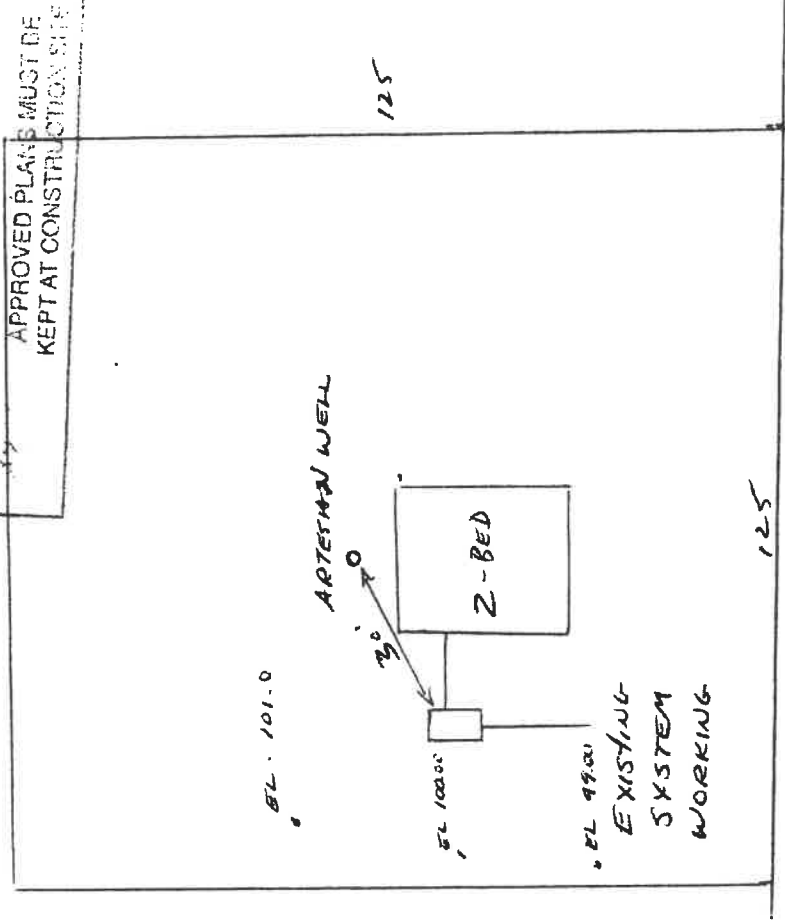
DEPARTMENT OF HEALTH SERVICES
DIVISION OF PUBLIC ADMINISTRATION
ISO SECTION

PLAN # 0315-2267 DATE 10.22.03

APPROVED Andrew Jella

NO CHANGES ALLOWED WITHOUT NOTICE

APPROVED PLANS MUST BE KEPT AT CONSTRUCTION SITE



MIZZEN STREET, James town

2003

BRIGGS SEPTIC PUMPING & EXCAVATING INC.
150 STONY FORT RD.
SAUNDERSTOWN, RI 02874



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 PERMITTING SECTION
 INDIVIDUAL SEWAGE DISPOSAL SYSTEMS PROGRAM

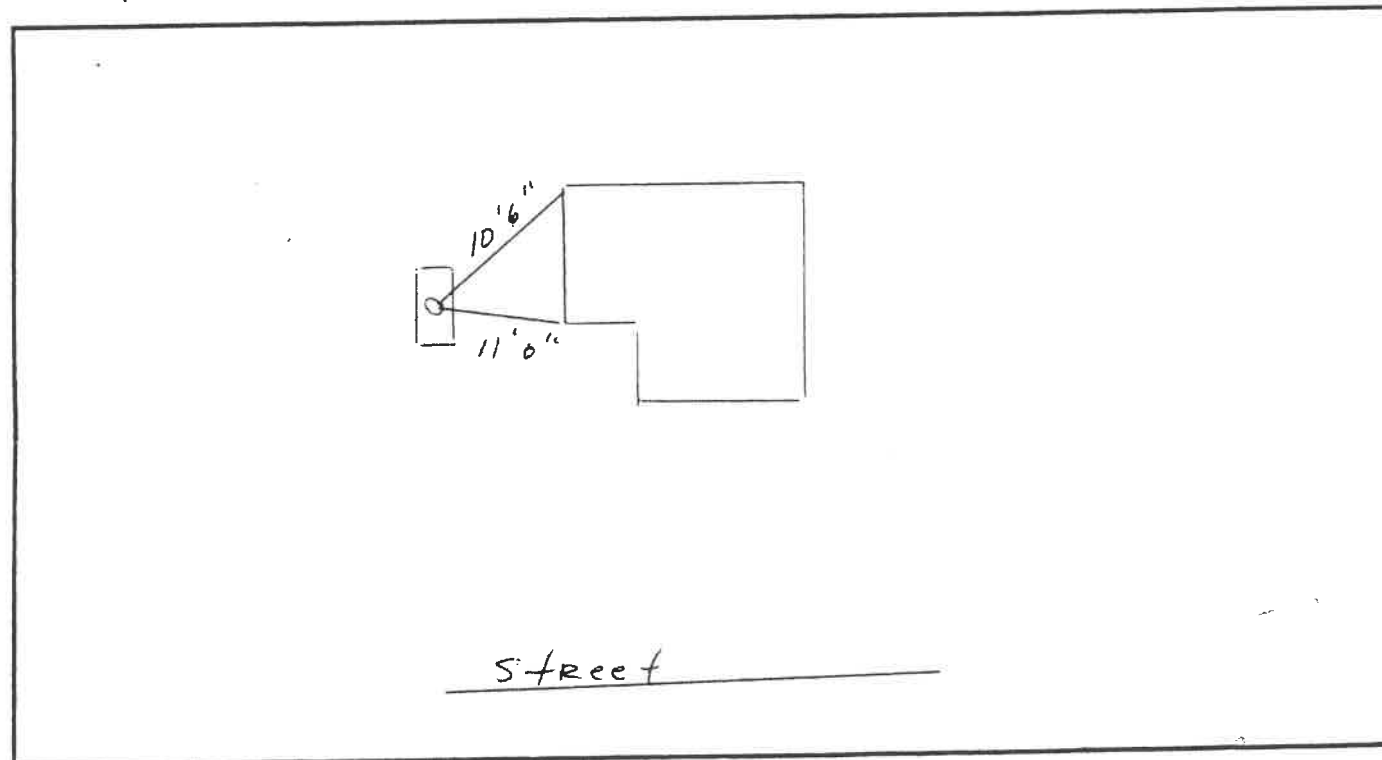


DESIGNER'S CERTIFICATE OF CONSTRUCTION FOR ISDS

Permit No. 0315-2267

I, JAMES H BRIGGS JR., as the designer of record for the ISDS installation located at
 (Street) 32 Mingo Ave in the City or Town of Jamunston
 hereby certify that the installation of the ISDS was
 performed by the installer named below, and to the best of my information, knowledge and belief, was
 witnessed and inspected in accordance with RIDEM/ISDS Rules and Regulations, and that, in my
 professional opinion, the installation of the ISDS conforms with the plans, specifications, applicable statutes,
 regulations, and construction tolerances as approved by the Director of the Rhode Island Department of
 Environmental Management. I further certify that I have documented the installation in accordance with
 RIDEM/ISDS Rules and Regulations. This certification is effective as of (date): 10-31-03.

The septic tank, D-Box (if any) and leach field are located as set forth below:



Installer's Name and License No. James H Briggs Jr 20843
 Designer License No. D- 1005
 Designer's Signature James H Briggs Jr Date Signed 11-03-03
 Designer Request of Change (DROC) Approval Date(s) _____

DESIGNER: PLEASE RETAIN GREEN COPY FOR YOUR RECORDS



STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

OFFICE OF WATER RESOURCES PERMITTING SECTION
235 PROMENADE STREET
PROVIDENCE, RI 02908

November 06, 2003

TO: **Robert J. Fagan**
4872 McPherson Drive
Roswell, GA 30075

SITE INFORMATION

Application No.: 0315-2267
Street: 32 Mizzen Street
Town: Jamestown
Plat: 15
Lot: 243
Subdivision:
Subdivision Lot No:

CERTIFICATE OF CONFORMANCE

This Certificate of Conformance means that the Individual Sewage Disposal System (ISDS), which has been installed under the above application number, appears to substantially conform with the design requirements and other requirements as indicated on the application, and associated plans and specifications. **PERMISSION IS THEREFORE GRANTED FOR UTILIZATION OF THE SEWAGE DISPOSAL SYSTEM.** A copy of this certificate has been forwarded to the building official of the municipality having jurisdiction over the subject site; he/she may issue a Certificate of Occupancy for the building provided all other local requirements have been met. The building official must receive a copy of the Certificate of Conformance prior to his or her issuing any required certificate of occupancy for the building or facility to be served by the ISDS.

This Certificate is based upon the representations of the Owner and his/her agents, who are responsible for the proper installation of this system. This Department has approved the ISDS installation in reliance upon those representations and is not responsible for any of the construction, design details, specifications, distances or elevations indicated on the application, plan or specifications.

This approval is subject to future suspension and revocation in the event that: subsequent examination reveals that any of the data indicated on the application, plan or specifications is incorrect or not in compliance with applicable regulations; or the ISDS system discharges sewage to the surface of the ground or to any watercourse, fails to otherwise operate satisfactorily or is altered in a manner which deviates from the terms of the approved application.

BRIAN M. MOORE, P.E.

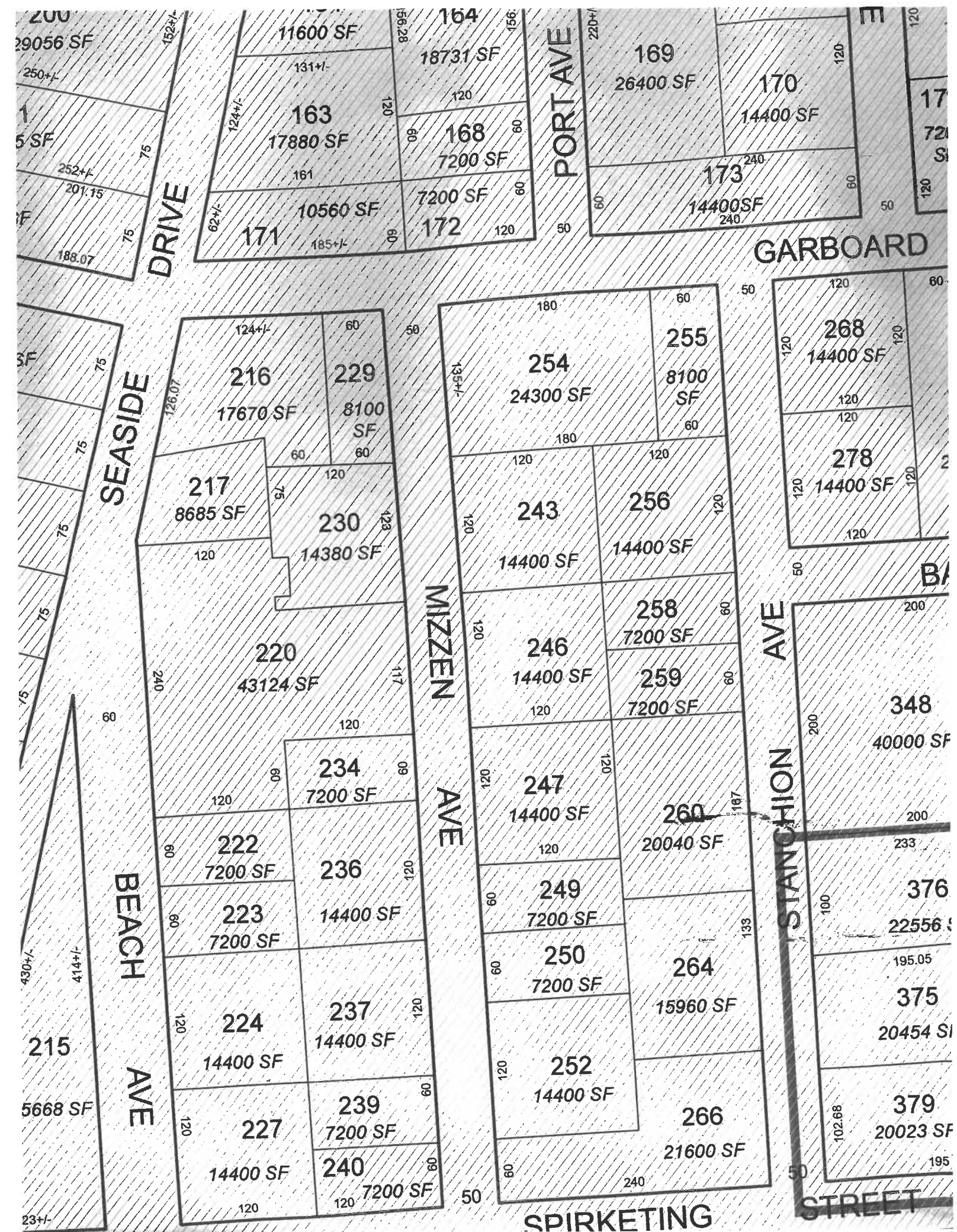
Authorized Agent: _____

INDIVIDUAL SEWAGE DISPOSAL SYSTEM SECTION

SEE REVERSE SIDE FOR IMPORTANT INFORMATION ON CARE AND MAINTENANCE

cc: Building Inspector

DEM COPY



Fagan Zoning Advertisement

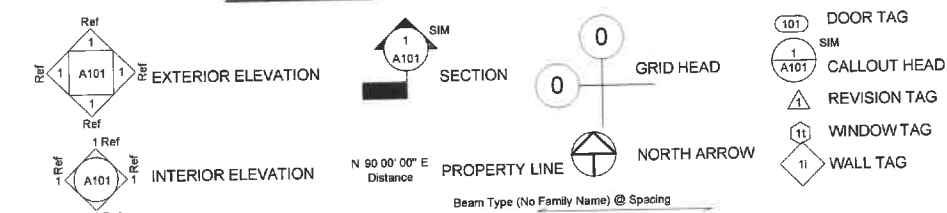
Application of MIZZEN MAST PROPERTIES LLC which owns property located at 32 Mizzen Avenue and further identified as Assessor's Plat 15, Lot 243 for a Special Use Permit from Art. 3, Sec. 82-314 (High Groundwater Table and Impervious Layer Overlay District) & Art. 6, Sec. 82-601 (Special Use Permits) to construct a two story addition on the south side of the existing home which addition is thirty feet wide and fifteen feet deep. Said property is located in a R40 zone and contains 14,400~~7~~ sq. ft.

PROJECT INFORMATION

Table with 2 columns: PROPERTY ADDRESS, EXISTING, PROPOSED. Rows include parcel ID, lot size, zoning, height limit, occupancy, parcel area, year built, # of units, # of stories, gross area, finish area, total # of rooms, kitchen, bedrooms, fullbath, 1/2 bath, heat and heat type, frame exterior, roof covering, roof structure, fireplace, style.

PARCEL ZONING: R-40
MIN LOT SIZE = 40,00 SF
MIN LOT WIDTH = 10' (R-20)
FRONT SETBACK = 30' (R-20)
SIDE SETBACK = 10' (R-20)
REAR SETBACK = 30' (R-20)
OUTBUILDING SIDE SETBACK = 10' (R-20)
OUTBUILDING REAR SETBACK = 10' (R-20)
MAX LOT COVERAGE = 25%

SYMBOLS LEGEND
1/4" = 1'-0"



PROJECT DIRECTORY

OWNER:
MIZZEN MAST PROPERTIES LLC
32 MIZZEN AVE
JAMESTOWN, RI 02835
United States
415-225-2573
gregoryfagan@gmail.com

DESIGNER:
GREGORY FAGAN
32 Mizzen Ave, Jamestown RI 02835
415.225.2573 gregoryfagan@gmail.com

GENERAL CONTRACTOR: OWNER ACTING AS
GREGORY FAGAN
32 Mizzen Ave, Jamestown RI 02835

ENVIRONMENTAL ENGINEER:
MATT COTTA - AMERICAN ENGINEERING, Inc
400 S County Trail Unit 201, Exeter, RI 02822
(401) 294-4090 dcotta@americanengineeringri.com
http://www.americanengineeringri.com/

PLUMBER: TBD

HVAC: TBD

ELECTRICIAN: TBD

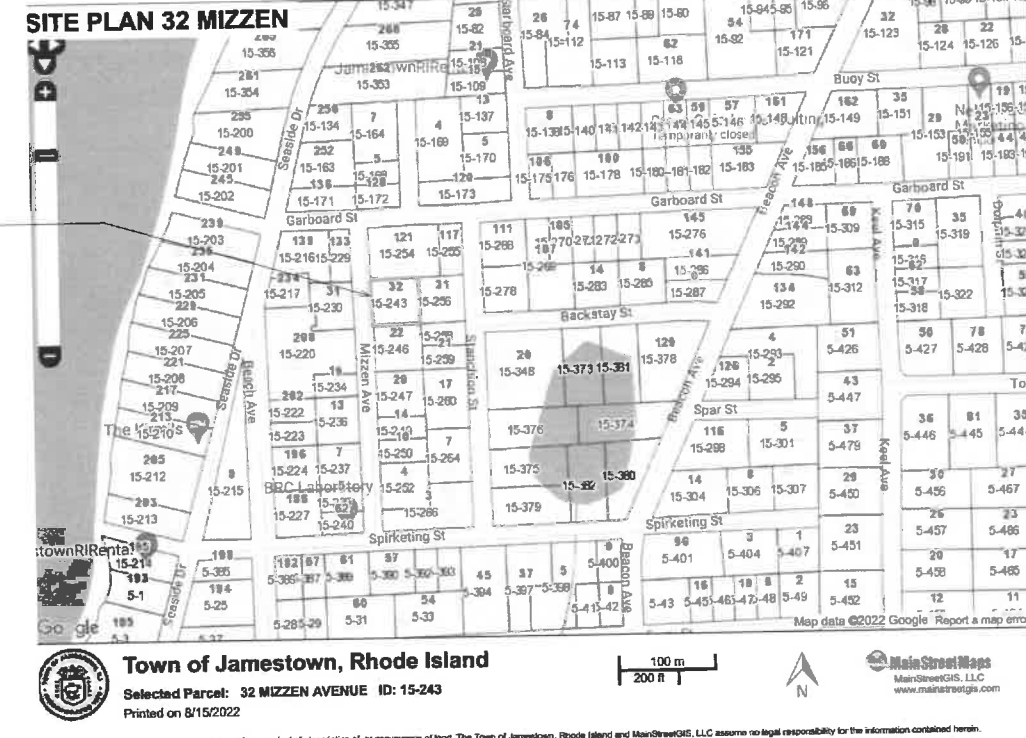
SHEET INDEX

Table with 2 columns: #, SHEET NAME. Rows include A0.0 TITLE PAGE, A0.1 SITE PLAN, A1.0 PLANS 1ST FLOOR EXISTING & 3-D VIEWS, A1.1 3 D VIEWS PROPOSED, A1.2 PLAN FOUNDATION PROP & EXIST, A1.3 PLANS 1st & 2nd FLOOR PROPOSED, A1.4 PLAN ROOF PROPOSED, A2.0 ELEVATIONS EXTERIOR - PROPOSED

SCOPE OF PROJECT

- CONVERTING A 600SQFT UNWINTERIZED BEACH HOUSE INTO A YEAR ROUND RESIDENCE
ON THE (E) 1st FLOOR: UPGRADE ALL UTILITIES -ELECTRICAL PLUMBING
REMODEL AND UPGRADE (E) KITCHEN AND (E) BATHROOM. ADD (N) CENTRAL HEAT. (N) WASHER/DRYER
REMOVE/DEMO (E) BEDROOM WALLS ON THE (E) 1ST FLOOR TO CREATE AN OPEN FLOOR PLAN FOR A GREAT ROOM AND KITCHEN OCCUPYING THE (E) 1ST FLOOR
WERE APPLICABLE, UPGRADE NON-CONFORMING PARTS OF THE BUILDING TO BE CODE COMPLIANT
PROPOSE TO ADD (N) 2 STORY VERTICAL ADDITION ADJACENT TO (E) 1 STORY STRUCTURE'S SOUTH SIDE
(N) 2ND STORY TO ACCOMMODATE - 2 BEDROOMS AND FULL BATH
(N) 1ST FLOOR TO ACCOMMODATE - DINING ROOM AND A HOME OFFICE/TV ROOM
(N) FOOTINGS/STEM WALLS
TOTAL 2 FULL BATHROOMS
CONTOUR (E) GRADE TO AVOID WATER POOLING AND COLLECTING AT BACK (WEST FACING SIDE) OF HOUSE BY CREATING A SWALE/BERM IMMEDIATELY BEHIND THE HOUSE. PRESENTLY (E) GRADE DIRECTS WATER TOWARDS THE BACK SIDE OF THE HOUSE AND CRAWL SPACE
CONTOURING AND GRADING YARD TO FULFILL ANY AND ALL DETAILS PERTAINING TO HIGH GROUND WATER TABLE (HGWT) STATUTE - (ZONING SEC. 82.314) WHICH INCLUDES A SPECIFIED RAIN GARDEN

VICINITY MAP



32 MIZZEN AVE

GENERAL NOTES
1 It's the responsibility of the contractor to obtain any and all permits required by the State of Rhode Island and the Municipality prior to commencing work.
2 Work to be performed in compliance with 2021 RISBC2 (RI Residential State Building Code); and any other codes and ordinances.
3 Properly identify and install insulation with R values particular to floors, walls, ceiling and roof areas is required.
4 The Contractor shall verify all dimensions, property lines, measurements and conditions in the field before beginning work.
5 Unless otherwise noted, all angles shall be right angles, all lines which appear parallel shall be parallel, and all items which appear centered shall be centered.
6 Detailed and/or large scale drawings are to be followed over all other drawings unless otherwise indicated.
7 The Contractor shall be responsible to protect all material, construction site and adjacent properties during construction.

GENERAL NOTES
8 All attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with the best practices of the building industry.
9 Details shown in these drawings are typical and shall apply unless otherwise noted or shown.
10 The Contractor shall be responsible for adequate design and construction of all forms, bracing and shoring required.
11 The Contractor, not the Designer shall be responsible for the means, methods, techniques, and sequences of construction.
12 Existing conditions indicated on these drawings are to be verified by the Contractor in the field and discrepancies reported to the Designer.
13 The Designer reserves the right to reject materials and work qualities which are not considered to be up to the specified standards of the various trades involved.
14 All existing utilities should be verified by the Contractor with the appropriate Utility Companies.

Table with 2 columns: A-B, C-F, G-I, J-L, M-O, P-R, S-T, U-V, W-X, Y-Z. Rows include material abbreviations like ASPHALT, CONCRETE, BRICK, etc.

Table with 2 columns: Q-T, R-H, S-D, T-O, U-V, W-X, Y-Z. Rows include material abbreviations like QUARRY TILE, ROBE HOOK, SMOKE DETECTOR, etc.

CONTRACTOR NOTE: ALL DIMENSIONS TAKEN FROM STUD/RAFTER FACE TO STUD/RAFTER FACE -- UNLESS OTHERWISE INDICATED

DO NOT SCALE DRAWINGS - FOLLOW WRITTEN DIMS - ANY DISCREPANCIES CONSULT DESIGNER

MIZZEN MAST PROPERTIES VERTICAL ADDITION & REMODEL

Gregory Fagan - Member of the Trust
32 Mizzen Ave,
Jamestown, RI 02835
415-225-2573
gregoryfagan@gmail.com

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JAMESTOWN, RI 02835
415-225-2573
gregoryfagan@gmail.com

MATT COTTA - AMERICAN ENGINEERING, INC
400 S. COUNTY TRAIL - UNIT 201
EXETER, RI 02822
401-294-4090
dcotta@americanengineeringri.com

PETER MEDEIROS
BUILDING AND ZONING DEPT
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pmedeiros@jamestownri.net

LISA BRYER
PLANNING DEPT
53 NARRAGANSETT AVENUE
JAMESTOWN, RI 02835
(401) 423-7210
lbryer@jamestownri.net

Table with 3 columns: No., Description, Date. Empty rows for project tracking.

Mizzen Mast Properties
32 Mizzen Ave
Jamestown RI 02835

Vertical Addition and Remodel

TITLE PAGE

Project number 1
Date 4/6/2023
Drawn by GF
Checked by GF

A0.0
Scale 1/4" = 1'-0"

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MIZZEN MAST PROPERTIES VERTICAL ADDITION & REMODEL

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 gregoryfagan@gmail.com

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 lbryer@jamestownri.net

| No. | Description | Date |
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Mizzen Mast Properties
 32 Mizzen Ave
 Jamestown RI
 02835

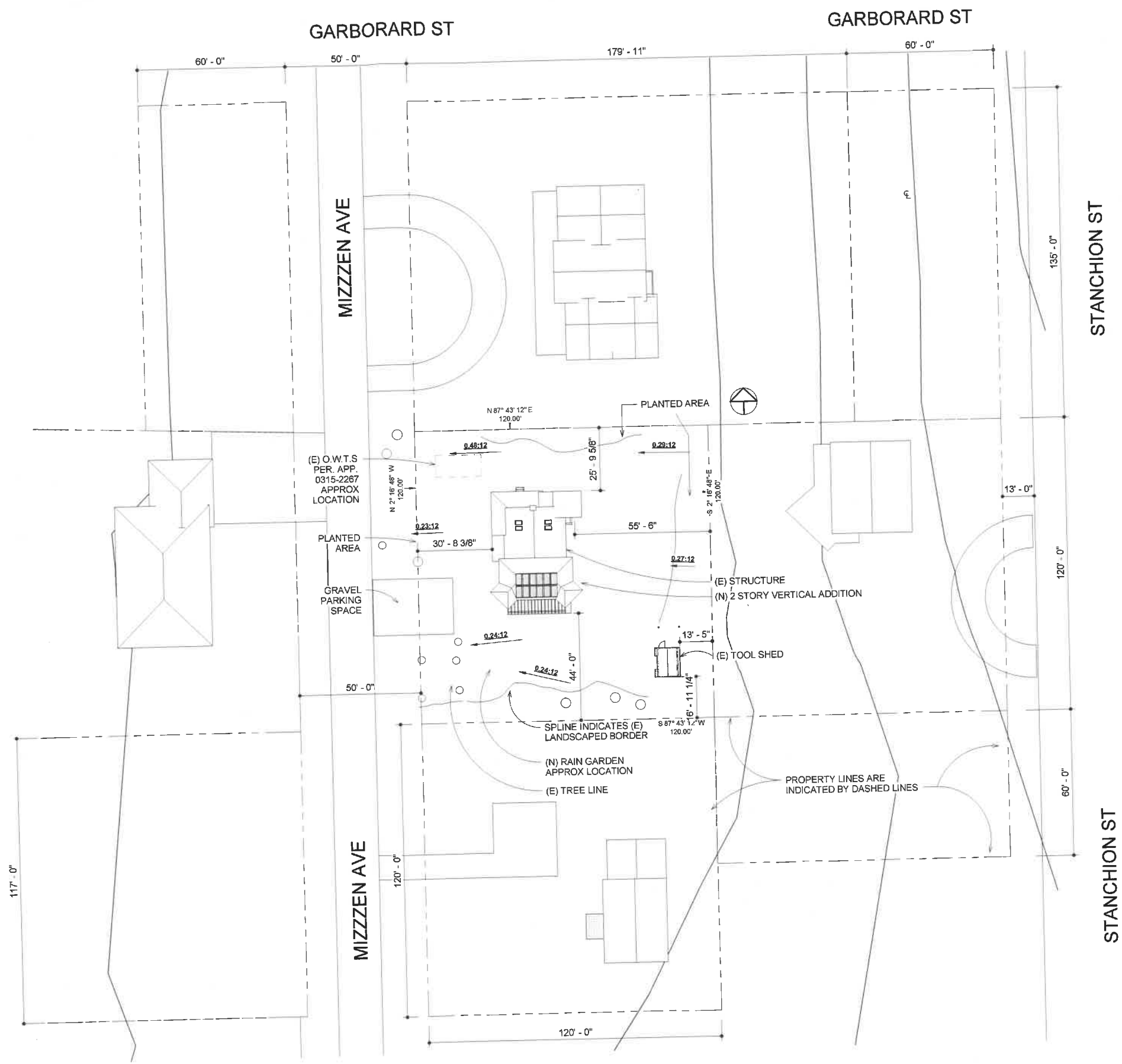
Vertical Addition and Remodel

SITE PLAN

| | |
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| Project number | 1 |
| Date | 4/6/2023 |
| Drawn by | GF |
| Checked by | GF |

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1 (N) SITE PLAN - 32 MIZZEN AVE
 3/64" = 1'-0"

CONTRACTOR NOTE: ALL DIMENSIONS TAKEN FROM STUD/RAFTER FACE TO STUD/RAFTER FACE -- UNLESS OTHERWISE INDICATED

DO NOT SCALE DRAWINGS - FOLLOW WRITTEN DIMS - ANY DESCREPAENCIES CONSULT DESIGNER

**MIZZEN MAST
PROPERTIES
VERTICAL
ADDITION
& REMODEL**

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dcotta@americanengineeringri.com

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Mizzen Mast
Properties
32 Mizzen Ave
Jamestown RI
02835

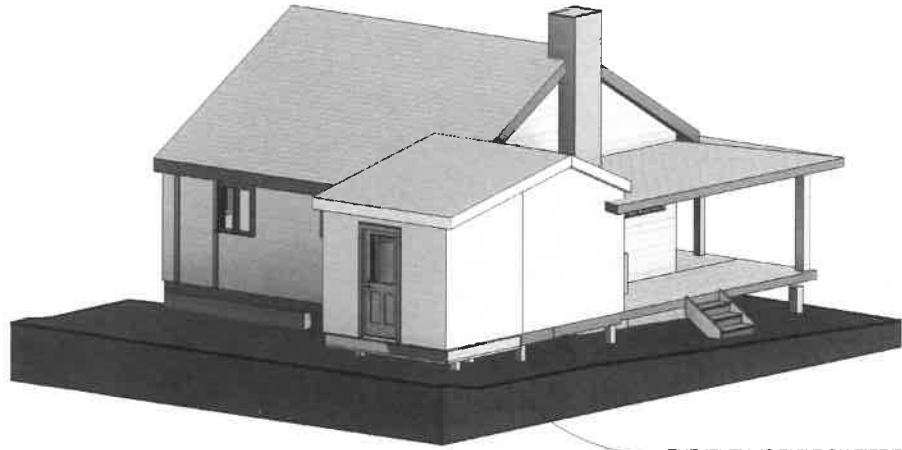
Vertical Addition
and Remodel

**PLANS 1ST
FLOOR EXISTING
& 3-D VIEWS**

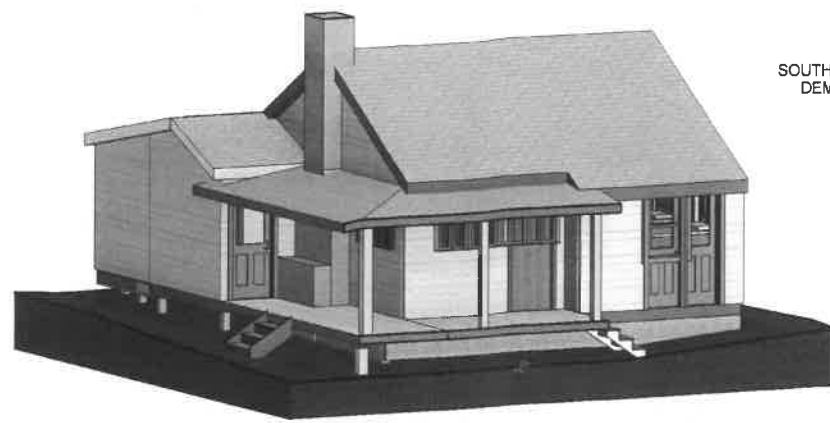
Project number 1
Date 4/6/2023
Drawn by GF
Checked by GF

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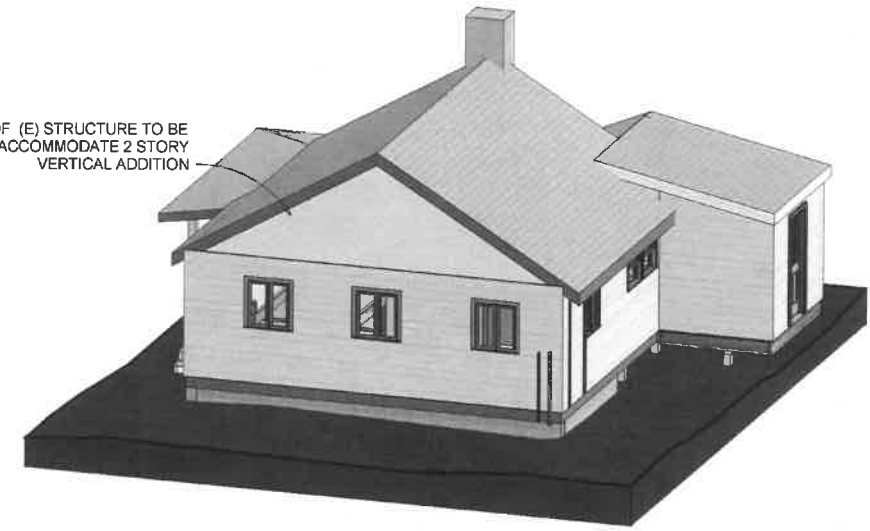
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3 3D EXISTING NE



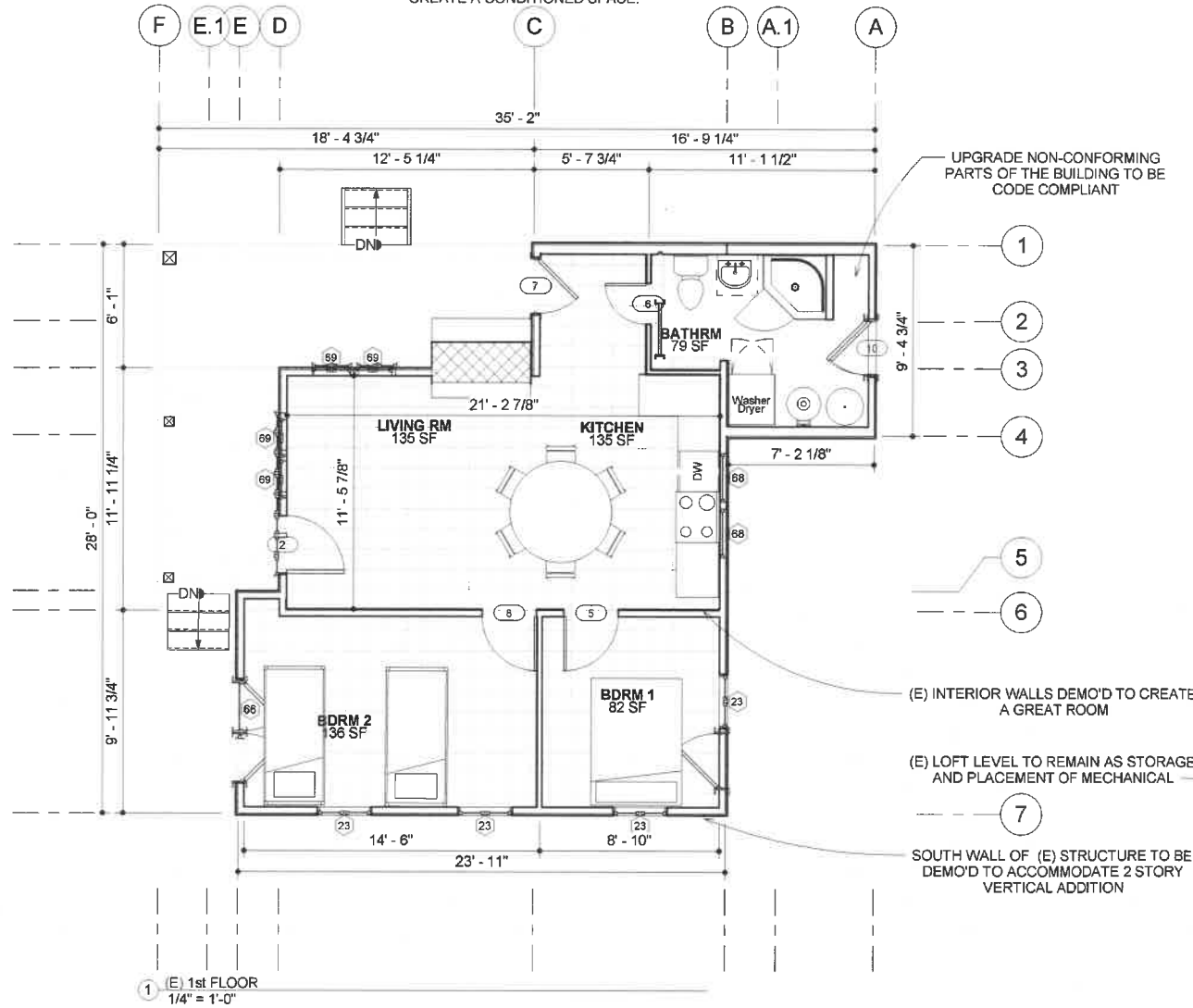
5 3D EXISTING NW



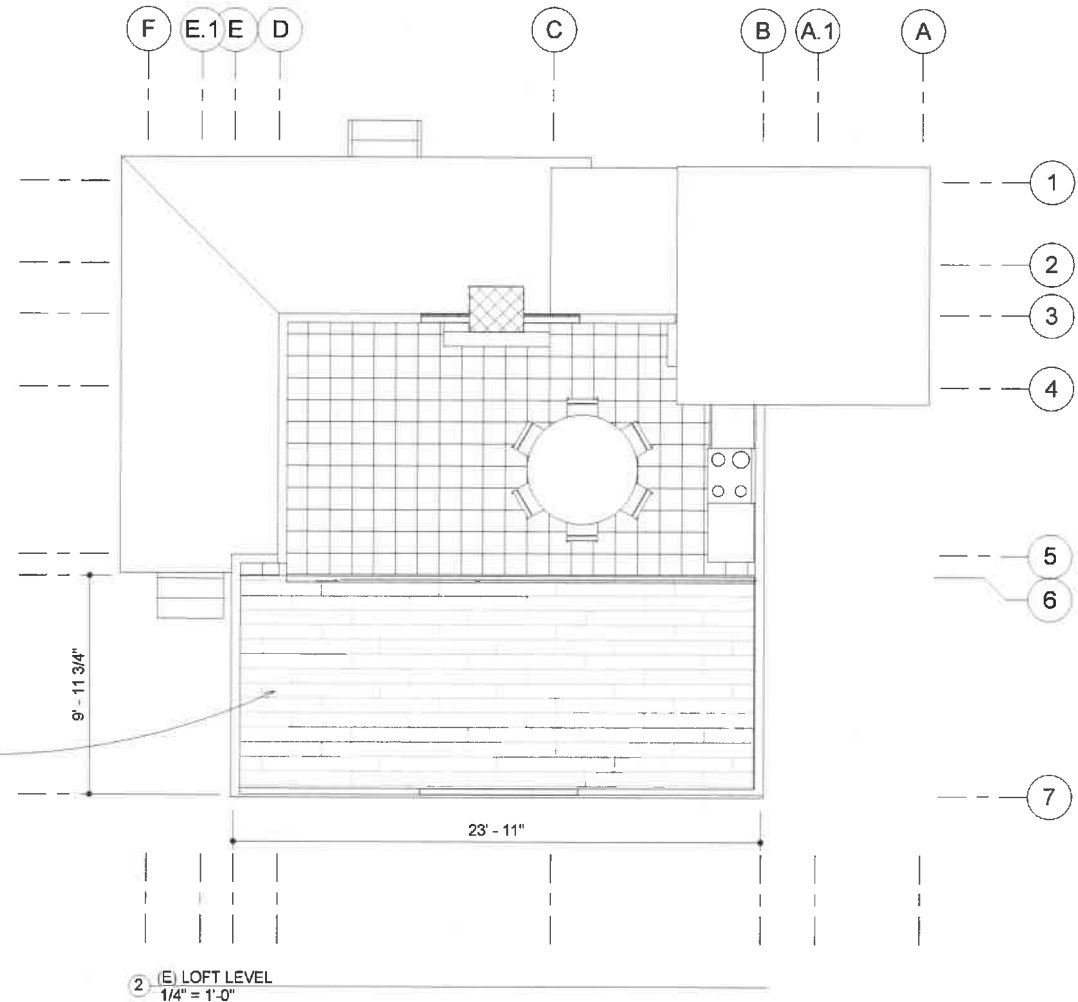
4 3D EXISTING SE

THE (E) ELL IS BUILT ON PIER/POST AND BEAM.
-PROPOSE TO ENCLOSE THE AREA UNDER THE
ELL TO BE CONDITIONED SPACE
-ADD THIS TO THE (E) CRAWL SPACE.
-ADD A RAT POUR TO THE (E) CRAWL SPACE
-ADD SPRAYED CLOSED CELL INSULATION TO
CREATE A CONDITIONED SPACE.

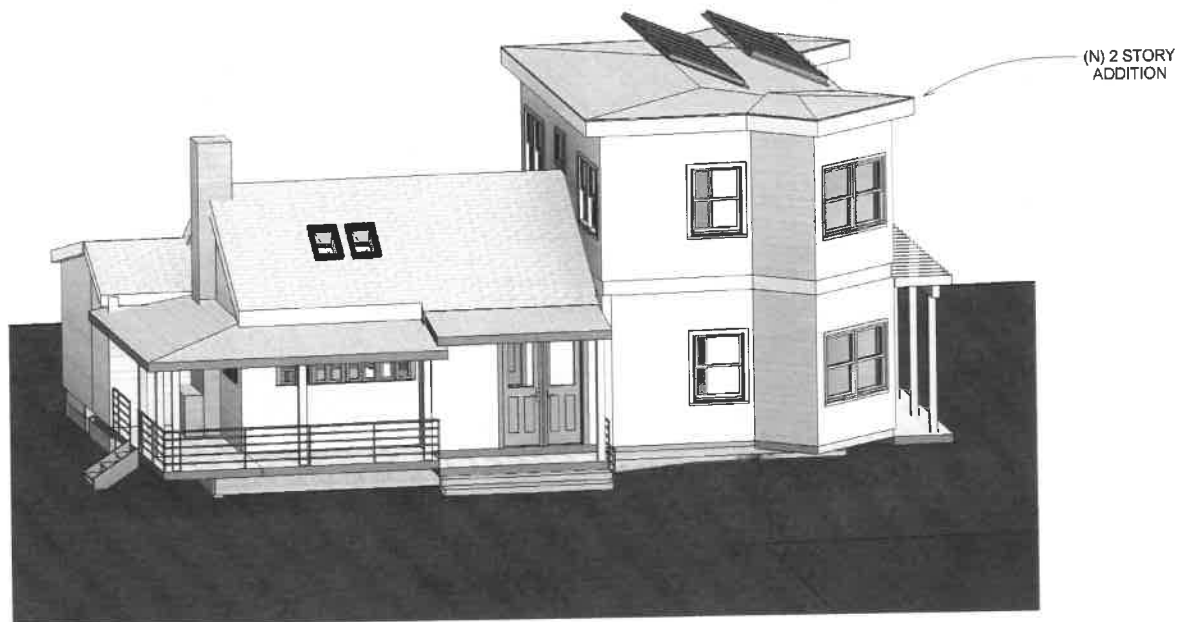
SOUTH WALL OF (E) STRUCTURE TO BE
DEM'D TO ACCOMMODATE 2 STORY
VERTICAL ADDITION



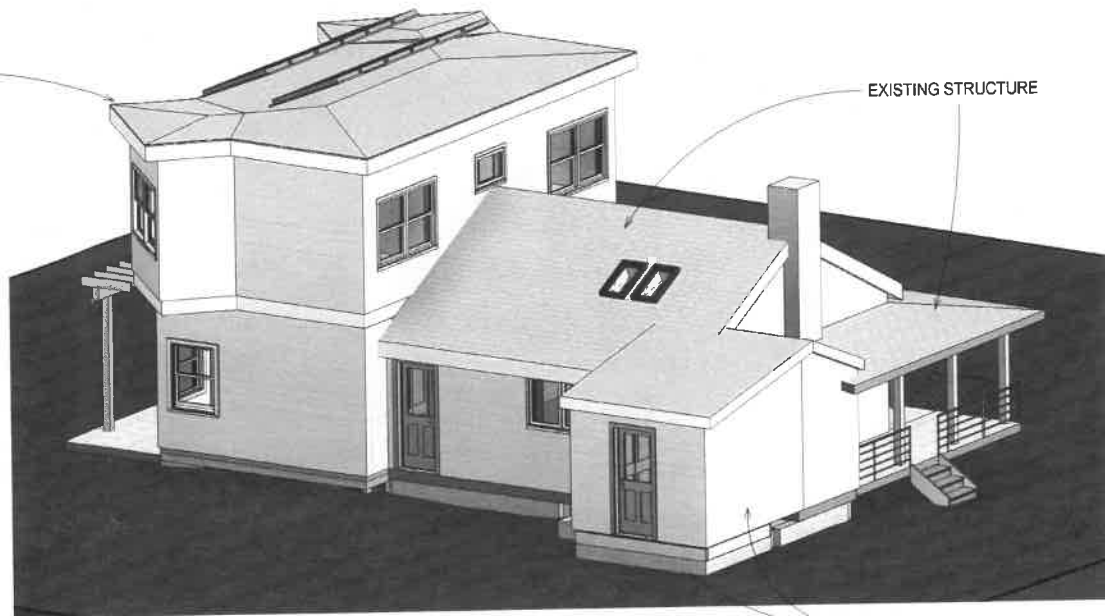
1 (E) 1st FLOOR
1/4" = 1'-0"



2 (E) LOFT LEVEL
1/4" = 1'-0"



2 3D PROP WEST

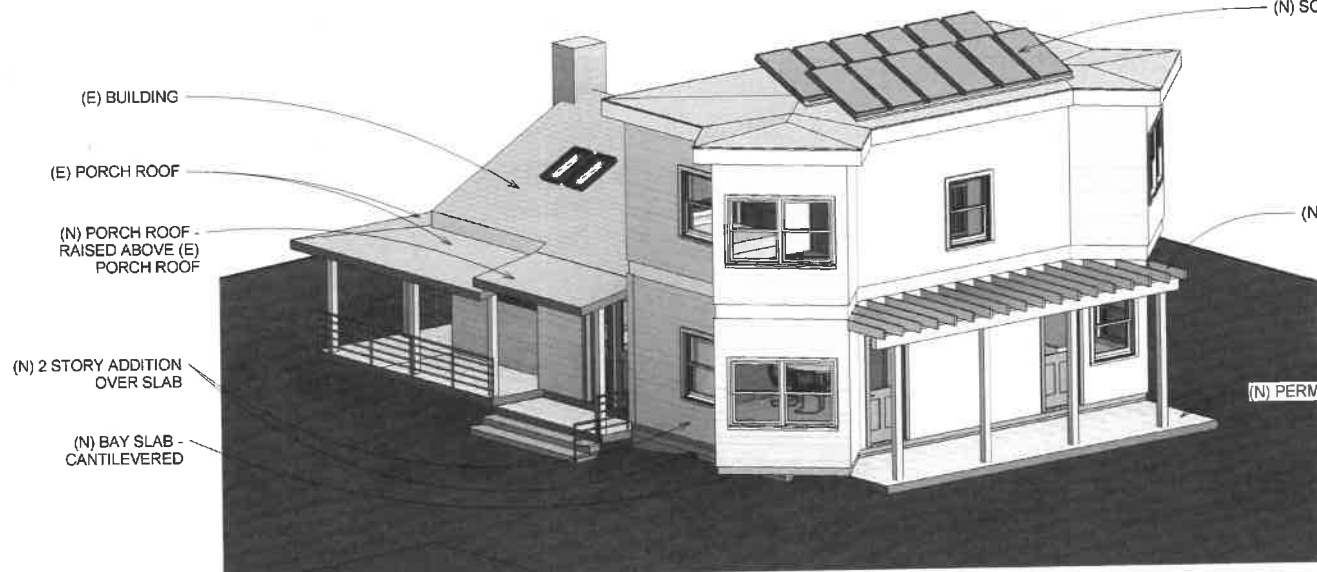


1 3D PROP NE

EXISTING STRUCTURE

(N) 2 STORY ADDITION

(E) AS BUILT - BATH/UTILITY
(N) ENCLOSE CRAWL SPACE BELOW - CREATE CONDITIONED SPACE



4 3D PROP SW

(N) SOLAR ARRAY

(N) ARBOR

(N) PERMEABLE DECKING

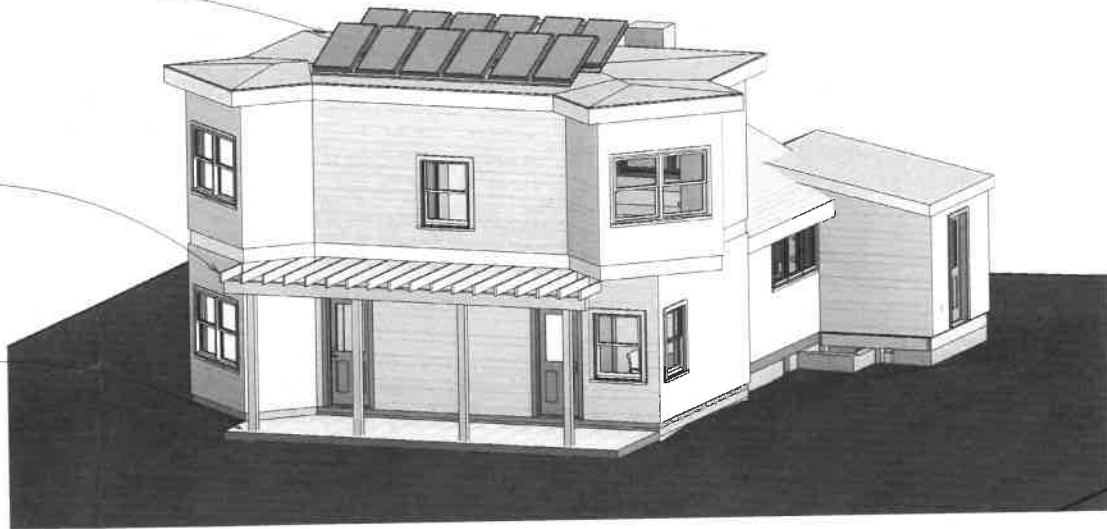
(E) BUILDING

(E) PORCH ROOF

(N) PORCH ROOF - RAISED ABOVE (E) PORCH ROOF

(N) 2 STORY ADDITION OVER SLAB

(N) BAY SLAB - CANTILEVERED

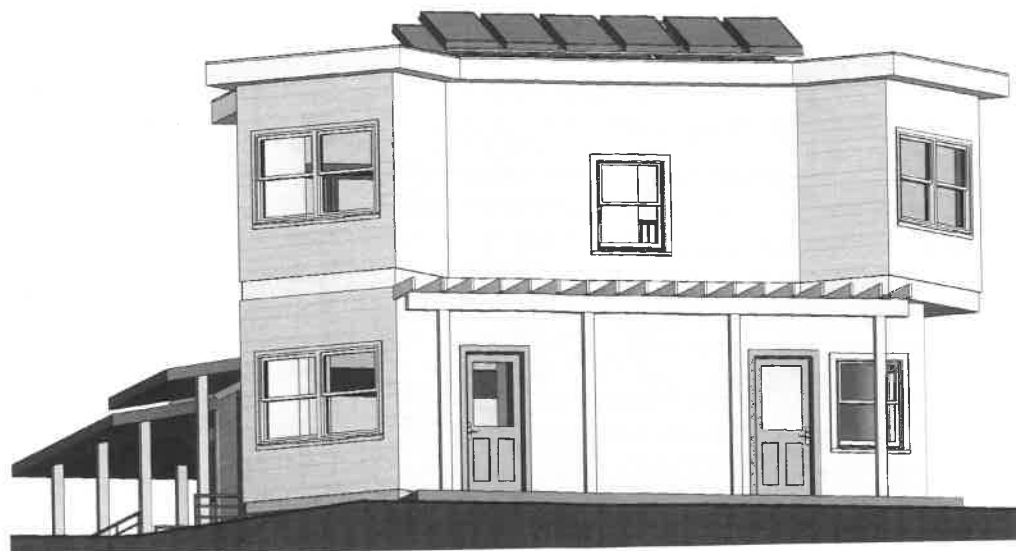


3 3D PROP SE

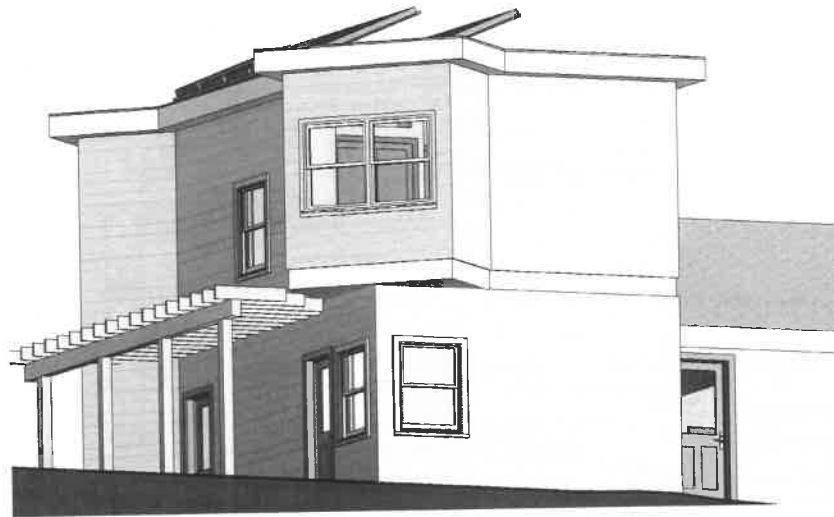


5 3D PROP SW DETAIL

(N) BAY SLAB - CANTILEVERED



6 3D PROP SOUTH DETAIL



7 3D PROP SE DETAIL

MIZZEN MAST PROPERTIES VERTICAL ADDITION & REMODEL

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Mizzen Mast Properties
32 Mizzen Ave
Jamestown RI 02835

Vertical Addition and Remodel

3 D VIEWS PROPOSED

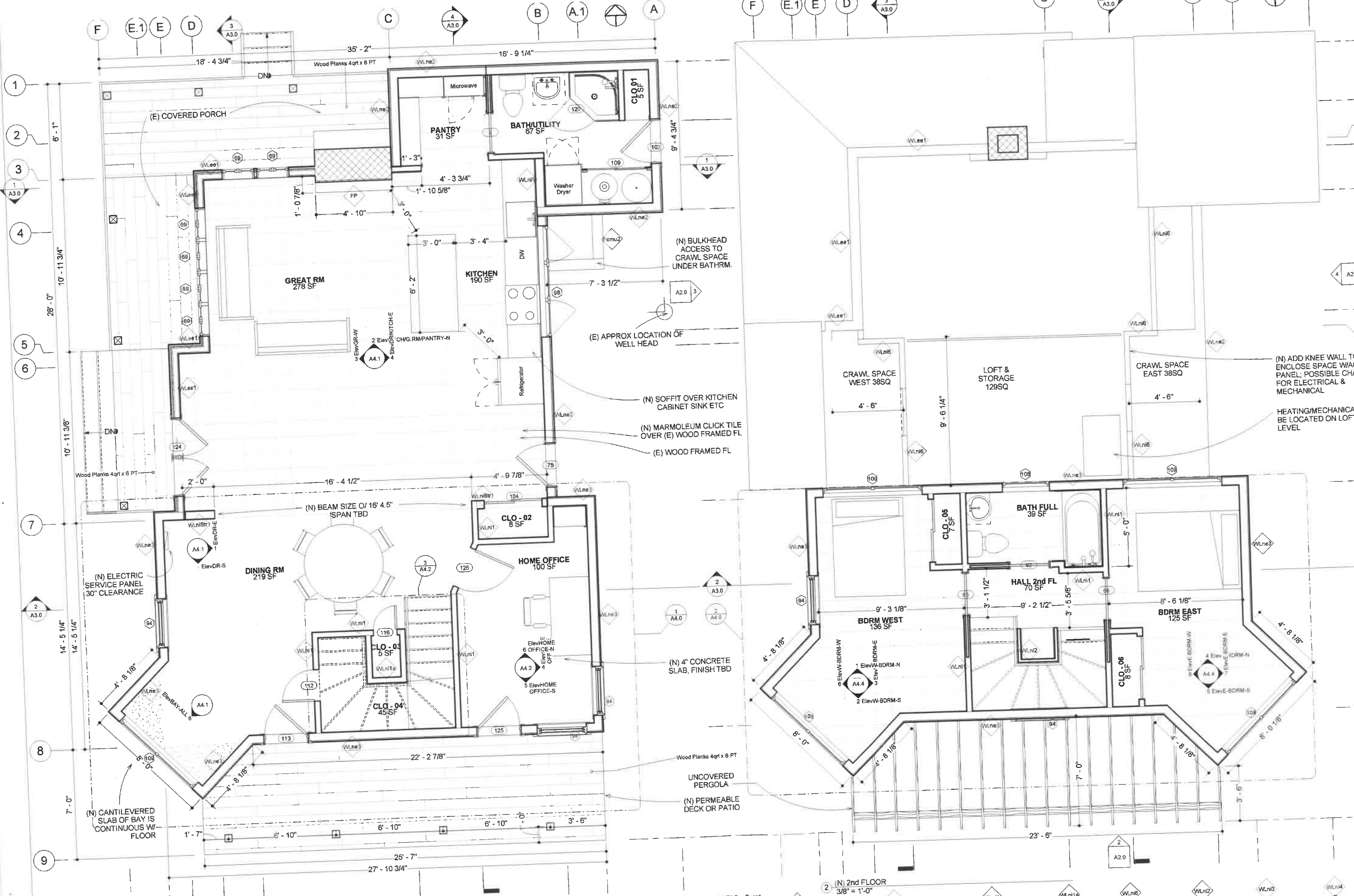
Project number 1
Date 4/6/2023
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MIZZEN MAST PROPERTIES VERTICAL ADDITION & REMODEL

32 Mizzen Ave
Jamestown, RI 02835

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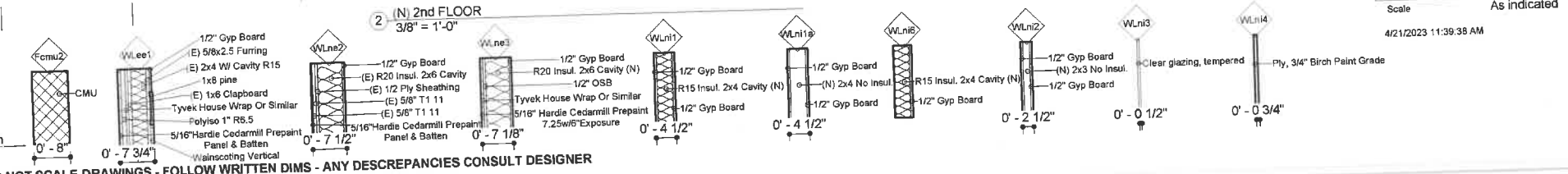
Mizzen Mast Properties
32 Mizzen Ave
Jamestown RI 02835

Vertical Addition and Remodel

PLANS 1st & 2nd FLOOR PROPOSED

| | |
|----------------|----------|
| Project number | 1 |
| Date | 4/6/2023 |
| Drawn by | GF |
| Checked by | GF |

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Scale As indicated
4/21/2023 11:39:38 AM



ALL DIMENSIONS TAKEN FROM STUD/RAFTER FACE TO STUD/RAFTER FACE - UNLESS OTHERWISE INDICATED. DO NOT SCALE DRAWINGS - FOLLOW WRITTEN DIMS - ANY DESCREPANCIES CONSULT DESIGNER

MIZZEN MAST PROPERTIES VERTICAL ADDITION & REMODEL

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Mizzen Mast Properties
32 Mizzen Ave
Jamestown RI
02835

Vertical Addition and Remodel

ELEVATIONS EXTERIOR - PROPOSED

Project number 1
Date 4/6/2023
Drawn by GF
Checked by GF

A2.0

Scale 1/4" = 1'-0"
4/21/2023 11:39:47 AM

