

TOWN OF JAMESTOWN
ZONING BOARD OF REVIEW

Application for Exception or Variation under the Zoning Ordinance

Zoning Board of Review;

Jamestown, R. I.

Date 1/18/2023

Gentlemen:

The undersigned hereby applies to the Zoning Board of Review for an exception or a variation in the application of the provisions or regulations of the zoning ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant Ashley Amsden + Matthew Amsden Address 29 Bayberry Rd.

Owner _____ Address _____

Lessee _____ Address _____

1. Location of premises: No. 29 Bayberry Road Street

2. Assessor's Plat 12 Lot 61

3. Dimensions of lot: frontage 600' ft. depth 63.1 ft. Area 27,452 sq. ft.

4. Zoning Districts in which premises are located: Use R-40 Area _____ Height _____

5. How long have you owned above premises? 5 years

6. Is there a building on the premises at present? Yes

7. Size of existing building 1543 sq ft

Size of proposed building or alteration 2,589 sq ft.

8. Distance of proposed bldg. or alteration from lot lines:

front 13.2 rear 4.8 left side 400'+ right side 9.6

9. Present use of premises: Single family dwelling

10. Proposed use of premises: single family dwelling add second floor

Location of septic tank & well on lot see site plan

11. Give extent of proposed alterations Footprint of home and garage to remain the same. Existing living space (already non conforming) to mirror new second floor. Add deck to west side of home.

12. Number of families for which building is to be arranged: 1

13. Have you submitted plans for above to Inspector of Buildings? Yes

Has the Inspector of Buildings refused a permit? Yes

14. Provision or regulation of Zoning Ordinance or State Enabling Act under which application for exception or variance is made:

Apply for setback relief for legal non-conforming lot. Relief comes from section 82.302 table 3-2.

15. State the grounds for exception or variation in this case:

When home was purchased in December 2017 the existing structure was non-conforming. Keeping garage and footprint of home as is. Seeking to add second floor over existing living space. In addition, add a deck off west side of home which was a previously granted variance.

Respectfully Submitted,

Signature Ashley Amsden

Address 29 Bayberry Rd

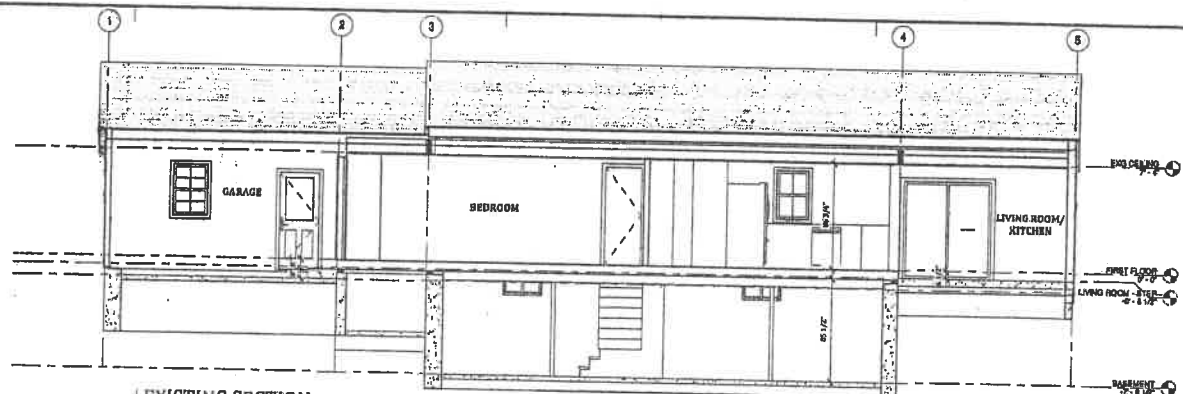
Jamestown RI 02835

Telephone No. 401-440-9712

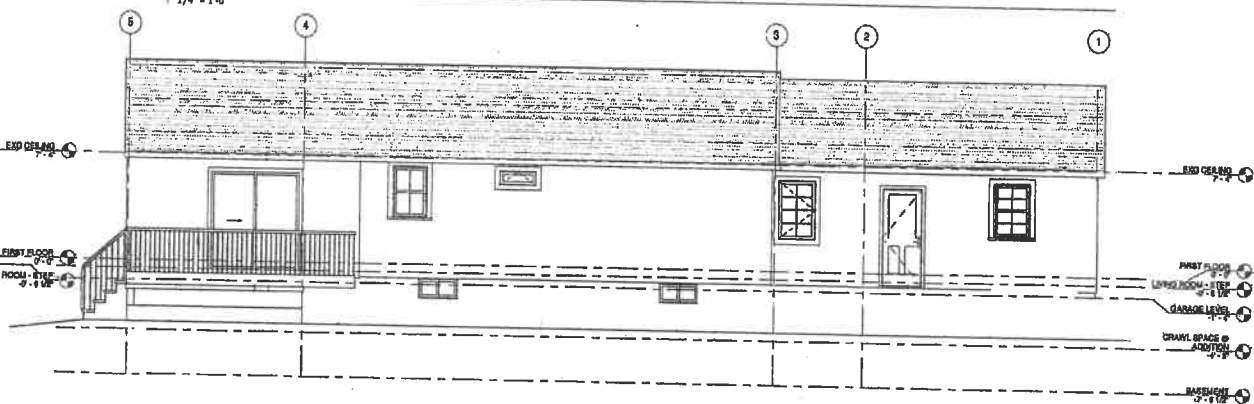
NOTE: A LOCATION PLAN AND SKETCH AND DRAWINGS NECESSARY TO GIVE FULL INFORMATION MUST BE FILED WITH THE APPLICATION.

ADVERTISEMENT

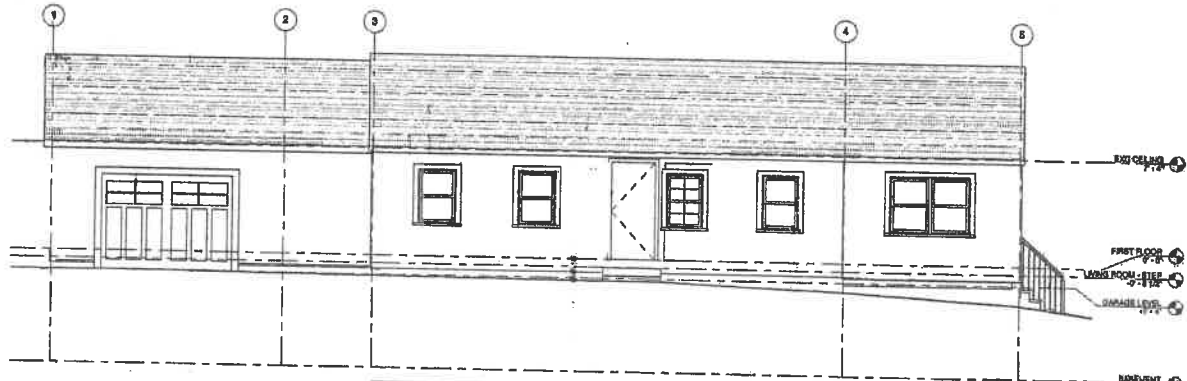
Application of MATTHEW R. and ASHLEY M. AMSDEN whose property is located at 29 Bayberry Road, and further identified as Tax Assessor's Plat 12, Lot 61, are seeking to construct a partial second floor addition of 1,046 sq. ft. onto the existing single story house footprint. Said property is located in a R40 zone and contains 27,452 sq. ft. The existing exterior walls of the living area will be extended to create the second floor addition; the existing garage structure on the east side of property will remain as is. The existing house was previously purchased as a legal, non-conforming structure. Referencing Article 3, Section 82-302 Table 3-2 and Article 6, Sections 82-606 and 82-607, the existing footprint is 13.2 ft. from front of lot instead of required 40 ft., a rear yard setback of 4.8 ft. where 30 ft. is required, and an east side yard setback of 9.6 ft. where 20 ft. is required. The highest point of the second floor design will be 27 ft. and does not exceed the 35 ft. maximum allowance of a principal structure. Furthermore, a variance from the same articles is requested to construct a 10 ft. x 24 ft. deck on the west side of home. Similar setback encroachments apply on west side of property due to existing nonconformance of land and structure.



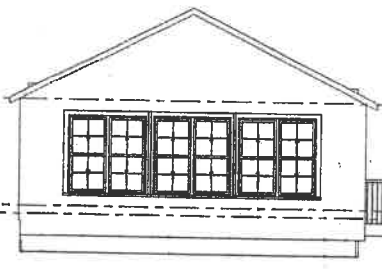
03 | EXISTING SECTION
1/4" = 1'-0"



02 | EXISTING REAR ELEVATION
1/4" = 1'-0"



01 | EXISTING FRONT ELEVATION
1/4" = 1'-0"



05 | EXISTING LIVING ROOM ELEVATION
1/4" = 1'-0"



04 | EXISTING GARAGE SIDE ELEVATION
1/4" = 1'-0"

ARCHITECT
MB NET DESIGN

PO BOX 1814
MADRID, NC 28751

PROJECT
AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
20 SOUTHWEST ROAD
MADRID, NC

DATE

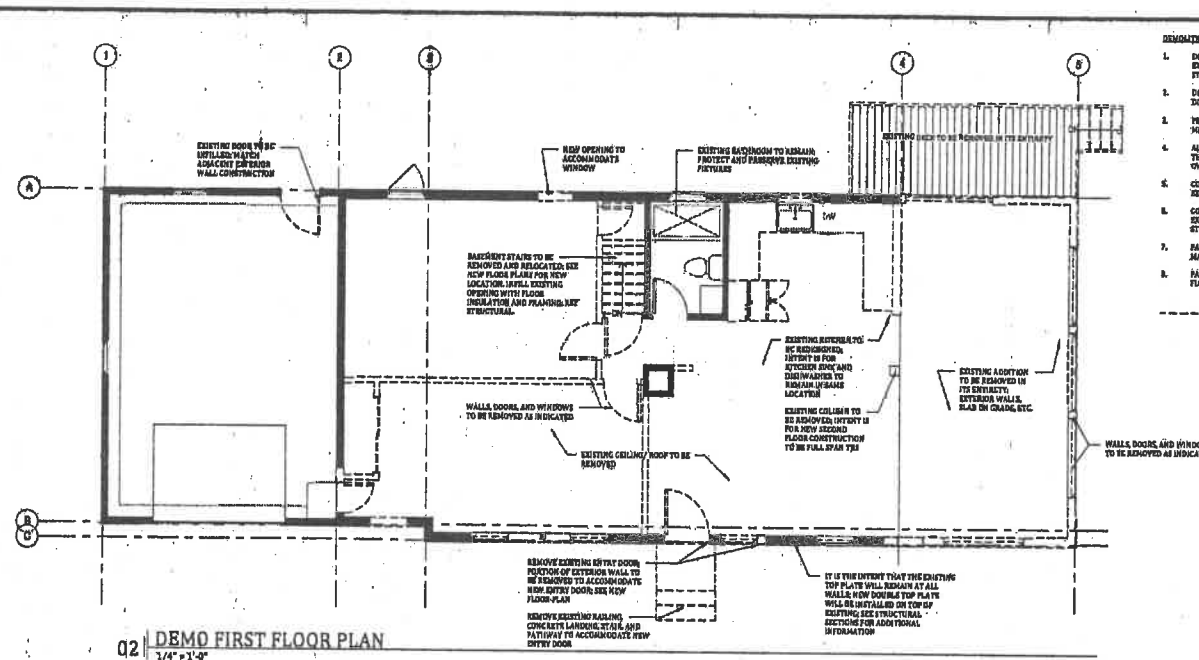
SCALE

REVISIONS

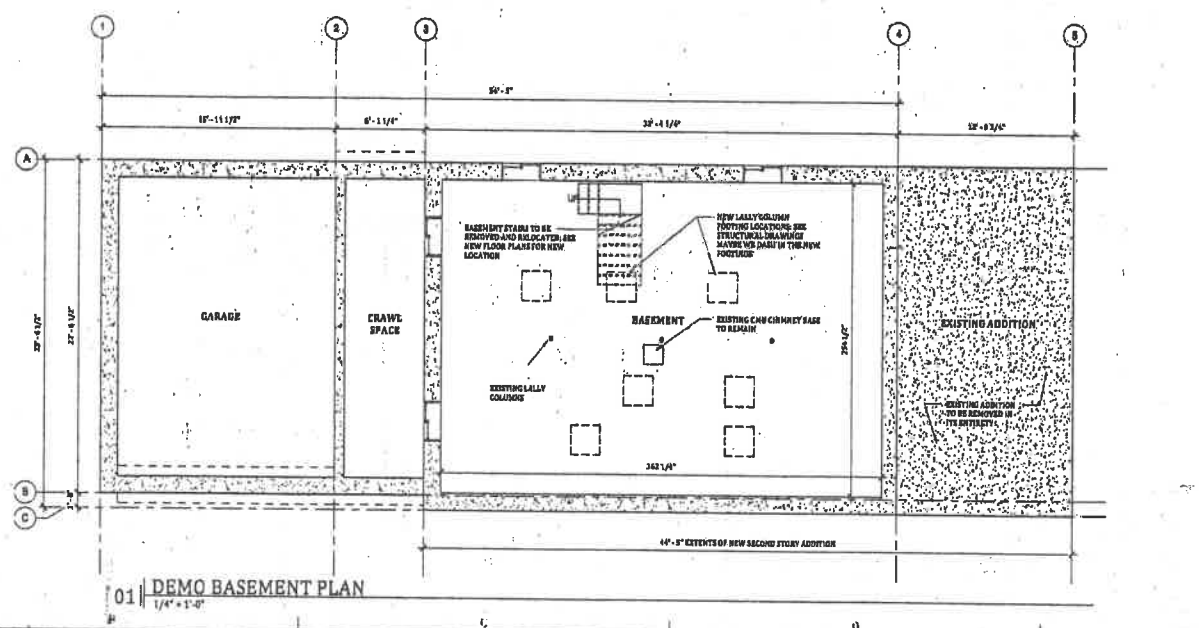
REVISION 01
UNREVIEWED PERMITS
28 NOV 2023

REVISION 02
EXISTING EXTERIOR ELEVATIONS

REVISION 03
EXB



02 | DEMO FIRST FLOOR PLAN
1/4" = 1'-0"



01 | DEMO BASEMENT PLAN
1/4" = 1'-0"

- DEMOLITION NOTES**
1. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL. EXISTING CURB AND LINES DEPICT EXISTING FACE OF CURB.
 2. ITEMS TO BE REMOVED OR TO BE PROPERLY LEASED WASTE DISPOSAL FACILITY AS INDICATED BY ALL C.I.L. MARK.
 3. PROTECT AND PRESERVE EXISTING STRUCTURES AS TO MINIMIZE REDEMPTION.
 4. ALL ITEMS THAT ARE REMOVED ARE THE PROPERTY OF THE OWNER UNLESS OTHERWISE INDICATED BY THE OWNER.
 5. CONTACT THE STATE FROM TO ANY DEMOLITION AND RECAVATION WORK.
 6. CONTRACTOR SHALL PROVIDE SHORING AND BRACING FOR EXISTING STRUCTURE AS REQUIRED UNTIL NEW STRUCTURE IS INSTALLED.
 7. PATCH EXTERIOR AND EXTERIOR WALLS AS REQUIRED TO MATCH SURROUNDING WALL FINISH.
 8. PATCH FLOORS AS REQUIRED TO MATCH SURROUNDING FLOORING SURFACE.
- ITEMS TO BE REMOVED

ARCHITECT
MR NET DESIGN

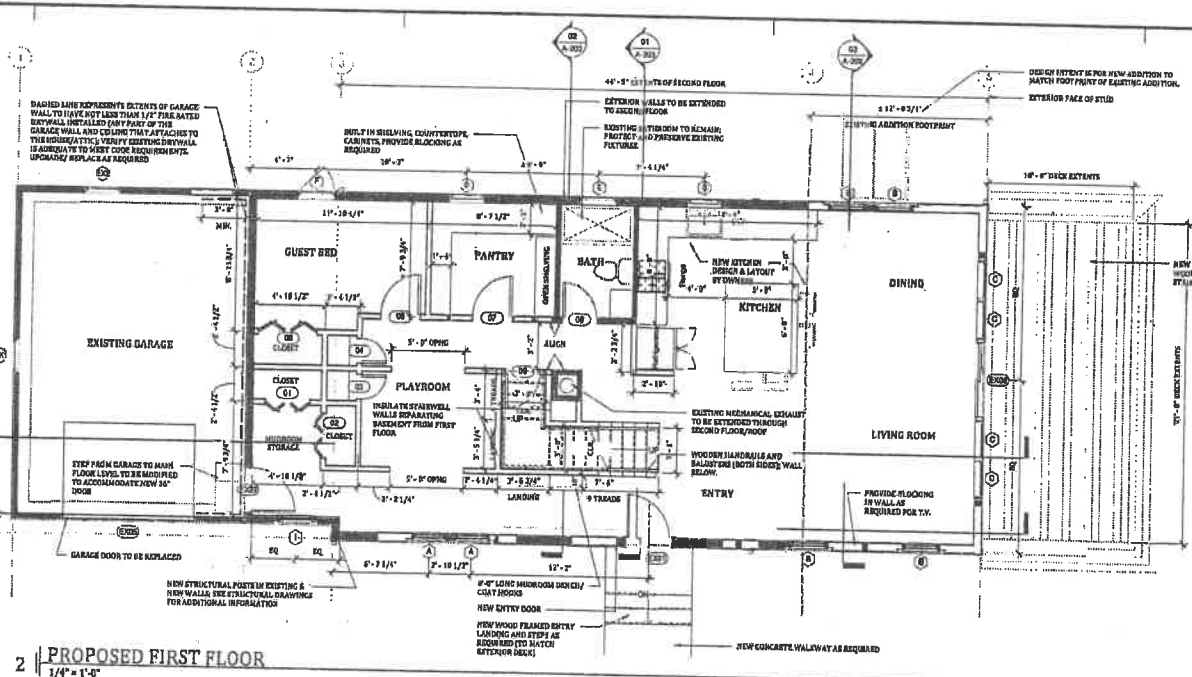
PROJECT
10000 10000
MAY/24/2024

CLIENT
AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
10000 10000

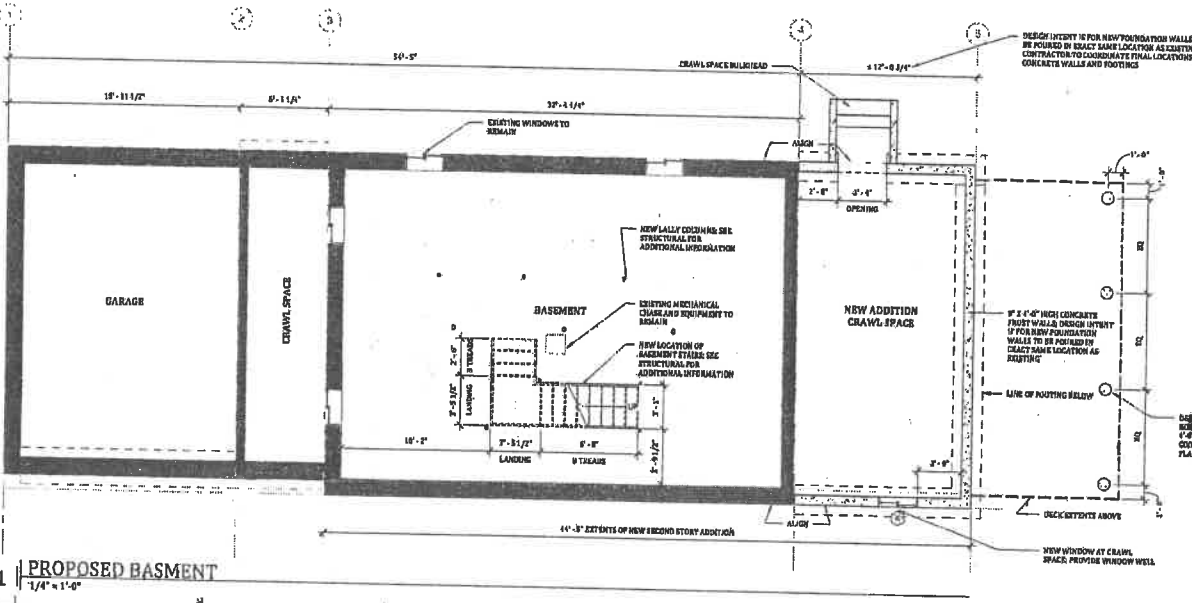
DATE
30 NOV 2024

DESCRIPTION
DEMOLITION FLOOR PLANS

PROJECT NUMBER
AD-100



2 | PROPOSED FIRST FLOOR
1/4" = 1'-0"



1 | PROPOSED BASMENT
1/4" = 1'-0"

- FOUNDATION GENERAL NOTES**
- ALL FOOTINGS ARE TO FACE OF CONCRETE FOUNDATION WALLS.
 - CONCRETE FOOTINGS AND FOUNDATIONS TO BE SIZED AND REINFORCED AS REQUIRED.
 - COORDINATE TOP-OF-WALL AND SLAB OR GRADE ELEVATIONS WITH ACTUAL SITE GRADING.
 - PROVIDE FOUNDATION VENT WINDOWS AS REQUIRED, CENTER OF WINDOWS ABOVE TYP.
 - PROVIDE FOOTING DRAINAGE PER CIVIL FOR OUTFLOW LOCATION.
 - PROVIDE WEIRCHAM WALLS BY DRAINAGE AT ALL FOUNDATION WINDOWS.

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO NEW FACE OF STUD AND TO CENTERLINE OF NEW STUD WALLS, DOORS AND WINDOWS UNLESS OTHERWISE NOTED. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL.
 - ALL INTERIOR PARTITIONS SHALL BE 5/8" x 12" G.C. WITH 1/2" MINIMUM EACH SIDE BULKHEAD OTHERWISE NOTED. ALL INTERIOR 2 x 4 WALLS ARE INDICATED WITH HSB (CL). EXISTING WALLS TO REMAIN ARE INDICATED WITH FLL (CL).
 - OVERALL NEW CONSTRUCTION SQUARE FOOTAGE: NEW ADDITION FIRST FLOOR TOTAL 1817 SF, SECOND FLOOR TOTAL 1468 SF.
 - PROVIDE WOOD ROD & WOOD SLEEVE IN CELESTE.
 - ALL FINISHES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
 - ALL INTERIOR TRIM DETAILS INCLUDING WALL BASE, DOOR STYLE, CASING AT DOORS AND WINDOWS TO BE SELECTED BY OWNER.
 - ALL DETAILS INCLUDING BUT NOT LIMITED TO PLUMBING AND ELECTRICAL (UTILITIES), APPLIANCES, CABINETS, LIGHTING, ETC. TO BE SELECTED BY THE OWNER.
 - ALL INTERIOR LIGHTING FIXTURES AND EXTERIOR LIGHTING TO BE DESIGNED BY OTHERS.

ARCHITECT:
MB NET DESIGN
PO BOX 1514
MADISON, WI 53704

PROJECT:
AMSDEN RESIDENCE
MATTHEW A. ASHLEY, ARCHITECT
PROJECT NO. 100

DATE:

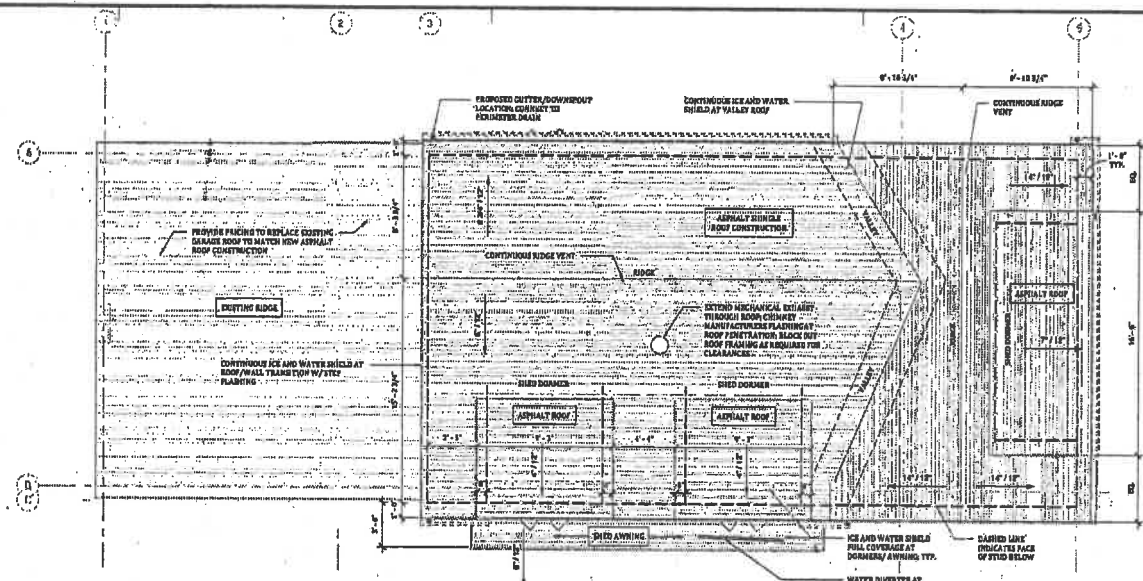
SCALE:

REVISIONS:

1 1/2" = 1'-0" PER SHEET
28 NOV 2022

PROPOSED FLOOR PLANS

PROJECT NO.:
A-100



2 | PROPOSED ROOF PLAN
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ALL ROOF PENETRATIONS, INCLUDING FLASHING VENTS AND MECHANICAL CURBS, SHALL HAVE FLASHING INSTALLED THAT IS COMPATIBLE WITH ROOF BLADE AND MEMBRANE MATERIALS.
2. REFER TO SECTION 05200 FOR FLASHING CONTRACTOR'S JOB VENTS AND GASKETS.
3. ALL KEEPS, SETTERS AND DOWNPOUT MATERIAL TO BE ASBESTOS-FREE.
4. CONNECT DOWNPOUTS TO DRINKING WATER DRAINAGE.
5. INSTALL ICE AND WATER SHIELD UP 3' ABOVE ON ALL ROOF EDGES EXCEPT 1/4" MINIMUM OVERLAP AT JOINTS. ADJACENT WALLS PROVIDE FULL COVERAGE UP ALL DOWNSPOUTS AND GUTTERS.
6. REFER TO RELATED SECTION ANNOTATIONS FOR ADDITIONAL INFORMATION.

MODEL GENERAL NOTES

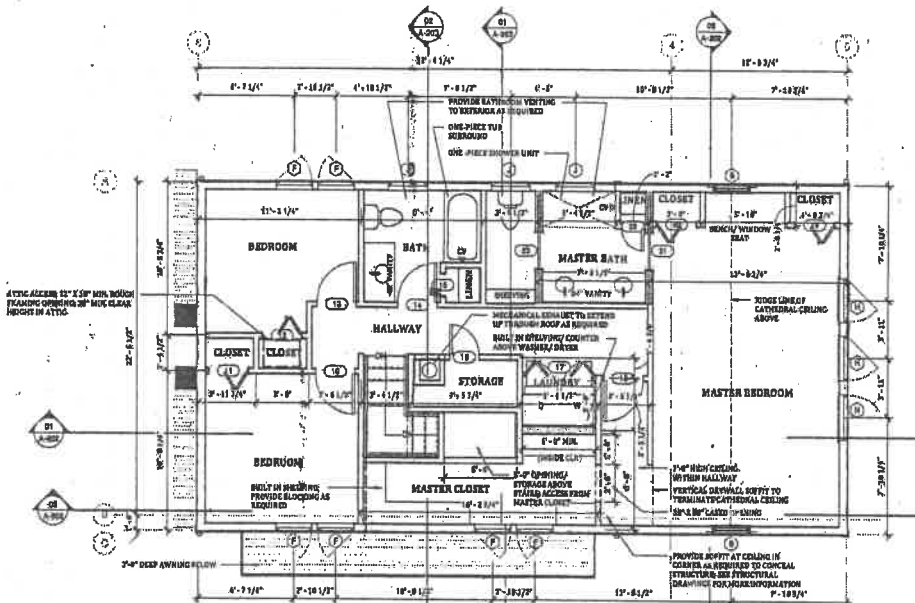
1. ALL DIMENSIONS ARE TO NEW FACE OF STUD AND TO CENTERLINE OF NEW STUD WALL, DOOR AND WINDOW UNLESS OTHERWISE NOTED. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF WALL.
2. ALL INTERIOR PARTITIONS SHALL BE 2x4 @ 16" O.C. WITH 1/2" DRYWALL EACH SIDE UNLESS OTHERWISE NOTED. ALL INTERIOR 2 1/2" WALLS ARE INDICATED WITH FILL COLOR. EXISTING WALLS TO REMAIN ARE INDICATED WITH FILL COLOR SHADING.
3. OVERALL NEW EXTERIOR SQUARE FOOTAGE NEW ADDITION FIRST FLOOR TO FILL A 16 FT. SECOND FLOOR TOTAL LANE 10 FT.
4. PROVIDE WOOD ROD AND WOOD SHELF IN CLOSET.
5. ALL SHELVING TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
6. ALL INTERIOR TRIM DETAILS INCLUDING WALL BASE, DOOR STILE, CASING AT DOORS AND WINDOWS TO BE SELECTED BY OWNER.
7. ALL ELECTRICAL WORKING NOT LISTED TO PLUMBING AND ELECTRICAL CONTRACTORS, APPLIANCES, CABINETS, LIGHTING, ETC. TO BE SELECTED BY THE OWNER.
8. ALL EXTERIOR LIGHTING FIXTURES AND EXTERIOR LIGHTING TO BE PROVIDED BY OWNER.

AMSDEN
MB NET DESIGN



NO. 1001 1/18/11

AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
AN INVESTMENT AND
CONSTRUCTION, INC.



1 | PROPOSED SECOND FLOOR
1/4" = 1'-0"

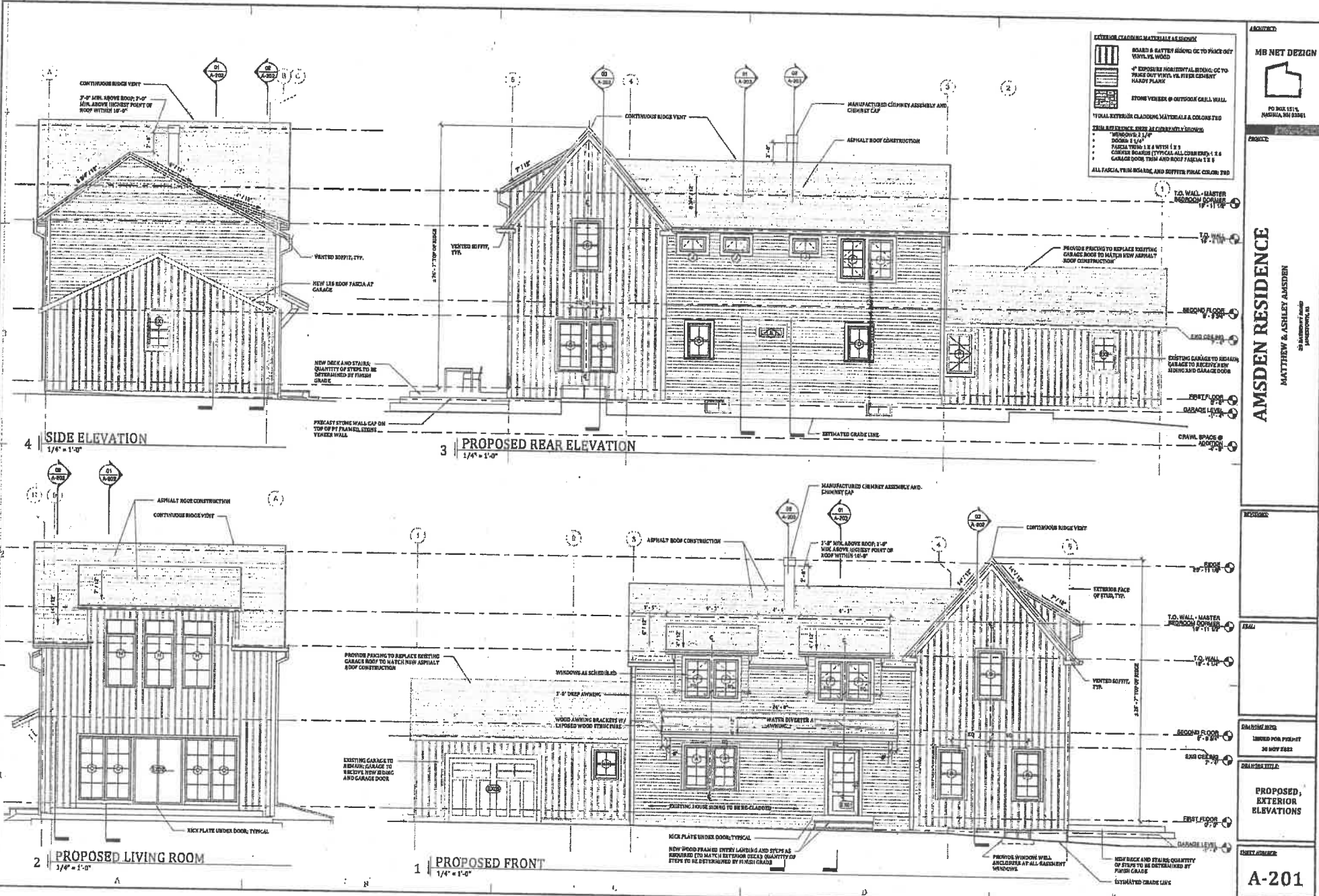
REVISIONS

SCALE

REVISIONS
SHEET FOR FRONT
20 NOV 2011

PROPOSED FLOOR PLANS

A-101



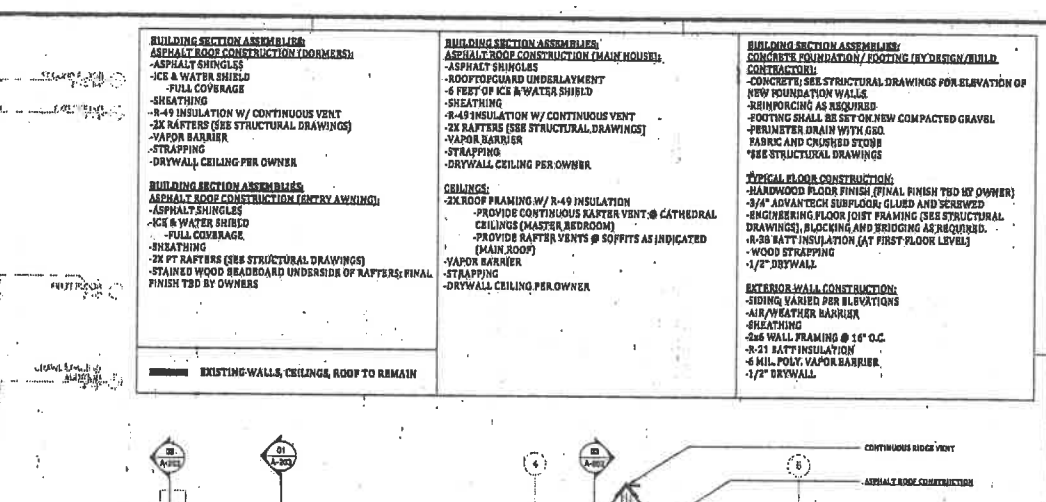
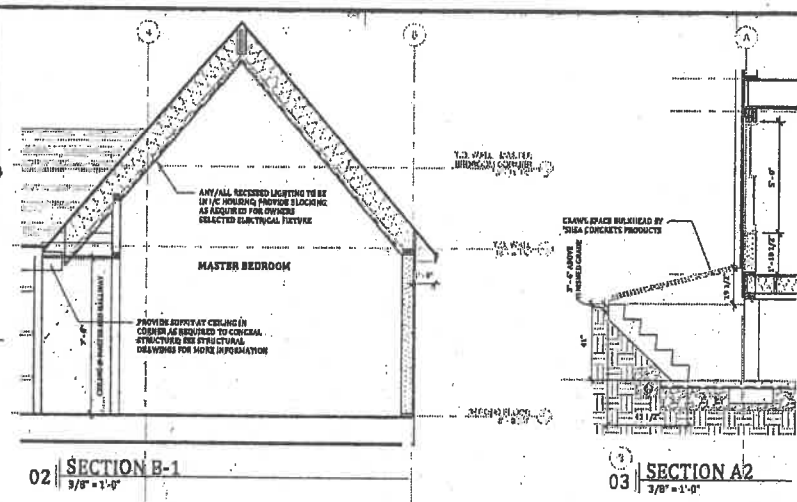
MB NET DESIGN

PO BOX 1515
MARIETTA, GA 30067

AMS DEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
100 SOUTHWEST AVE
MARIETTA, GA

PROPOSED EXTERIOR ELEVATIONS

A-201



BUILDING SECTION ASSEMBLIES:
ASPHALT ROOF CONSTRUCTION (DOORMS):
 - ASPHALT SHINGLES
 - ICE & WATER SHIELD
 - FULL COVERAGE
 - SHEATHING
 - R-49 INSULATION W/ CONTINUOUS VENT
 - 2X RAFTERS (SEE STRUCTURAL DRAWINGS)
 - VAPOR BARRIER
 - STRAPPING
 - DRYWALL CEILING PER OWNER

BUILDING SECTION ASSEMBLIES:
ASPHALT ROOF CONSTRUCTION (ENTRY/LIVING):
 - ASPHALT SHINGLES
 - ICE & WATER SHIELD
 - FULL COVERAGE
 - SHEATHING
 - 2X FT RAFTERS (SEE STRUCTURAL DRAWINGS)
 - STAINED WOOD BEADBOARD UNDERSIDE OF RAFTERS; FINAL FINISH TSD BY OWNERS

BUILDING SECTION ASSEMBLIES:
ASPHALT ROOF CONSTRUCTION (MAIN HOUSE):
 - ASPHALT SHINGLES
 - ROOFTOP/GIARD UNDERLAYMENT
 - 6 FEET OF ICE & WATER SHIELD
 - SHEATHING
 - R-49 INSULATION W/ CONTINUOUS VENT
 - 2X RAFTERS (SEE STRUCTURAL DRAWINGS)
 - VAPOR BARRIER
 - STRAPPING
 - DRYWALL CEILING PER OWNER

BUILDING SECTION ASSEMBLIES:
CEILING:
 - 2X ROOF FRAMING W/ R-49 INSULATION
 - PROVIDE CONTINUOUS RAFTER VENT @ CATHEDRAL CEILINGS (MASTER BEDROOM)
 - PROVIDE RAFTER VENTS @ SOFFITS AS INDICATED (MAIN ROOF)
 - VAPOR BARRIER
 - STRAPPING
 - DRYWALL CEILING PER OWNER

BUILDING SECTION ASSEMBLIES:
CONCRETE FOUNDATION / FOOTING (BY DESIGN/BUILD CONTRACTOR):
 - CONCRETE: SEE STRUCTURAL DRAWINGS FOR ELEVATION OF NEW FOUNDATION WALLS
 - REINFORCING AS REQUIRED
 - FOOTING SHALL BE SET ON NEW COMPACTED GRAVEL
 - PERIMETER DRAIN WITH G.O. FABRIC AND CRUSHED STONE
 - SEE STRUCTURAL DRAWINGS

TYPICAL FLOOR CONSTRUCTION:
 - HARDWOOD FLOOR FINISH (FINAL FINISH TSD BY OWNER)
 - 3/4" ADVANTECH SUBFLOOR; GLUED AND SCREWED
 - ENGINEERING FLOOR JOIST FRAMING (SEE STRUCTURAL DRAWINGS); BLOCKING AND BRACING AS REQUIRED
 - R-38 BATT INSULATION (AT FIRST FLOOR LEVEL)
 - WOOD STRAPPING
 - 1/2" DRYWALL

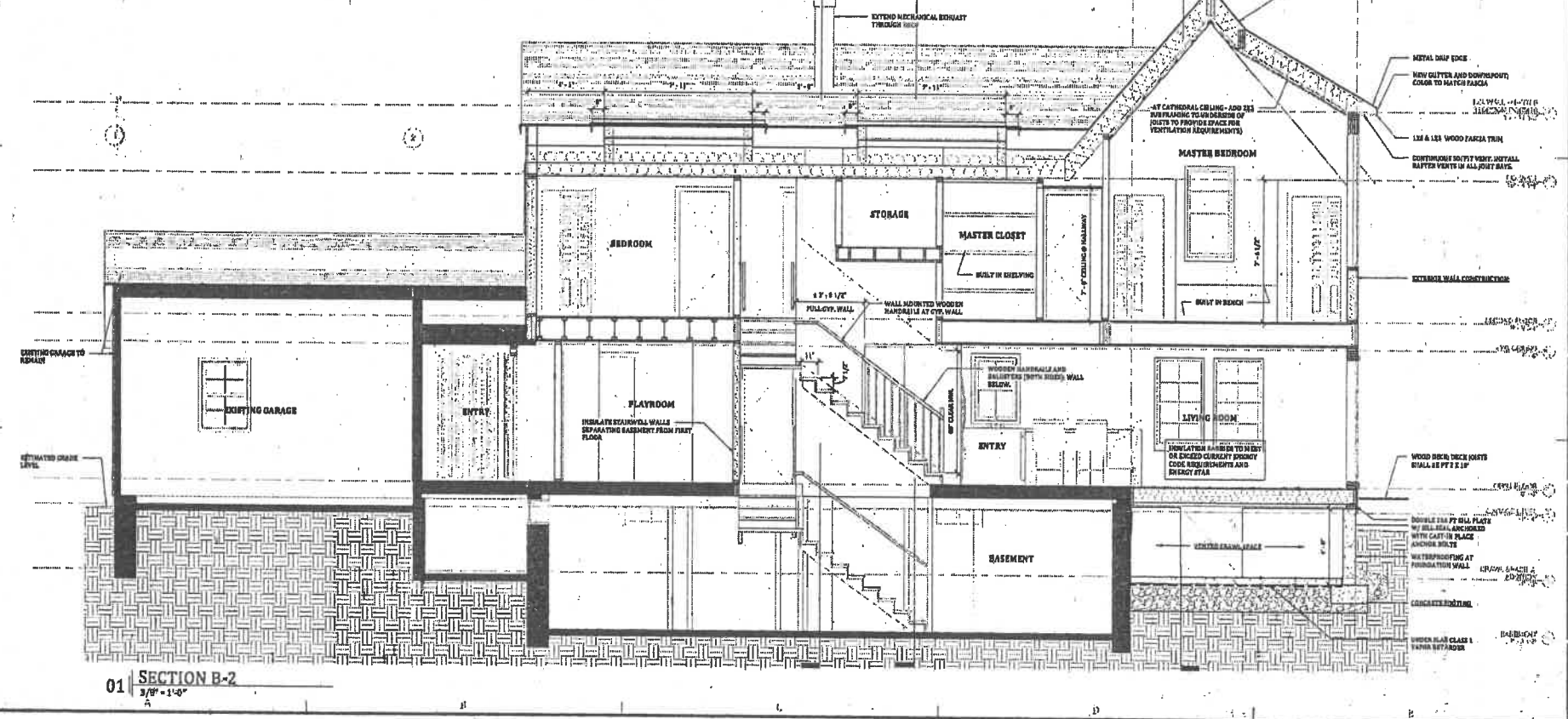
EXTERIOR WALL CONSTRUCTION:
 - SIDING VARIED PER ELEVATIONS
 - AIR WEATHER BARRIER
 - SHEATHING
 - 2x6 WALL FRAMING @ 16" O.C.
 - R-21 BATT INSULATION
 - 6 MIL POLY VAPOR BARRIER
 - 1/2" DRYWALL

EXISTING WALLS, CEILING, ROOF TO REMAIN

MR NET DESIGN
 10000 10th Ave S
 BIRMINGHAM, AL 35204

AMSDEN RESIDENCE
 MATTHEW A. USHLEY ARCHITECT
 10000 10th Ave S
 BIRMINGHAM, AL 35204

DATE: 30 NOV 2012
 DRAWING TITLE: BUILDING SECTIONS
 SHEET NUMBER: A-202



CONTINUOUS SIDING VENT
 ASPHALT ROOF CONSTRUCTION
 METAL DRAIN EDGE
 NEW GUTTER AND DOWNSPOUT
 COLOR TO MATCH SIDING
 1 1/2\"/>

AT CATHEDRAL CEILING-ADD 2x6 SUBFRAMING TO UNBLENDED OF JOISTS TO PROVIDE SPACE FOR VENTILATION REQUIREMENTS

MASTER BEDROOM
 7'-4 1/2\"/>

EXTERIOR WALL CONSTRUCTION

WOOD SICKNESS JOISTS SHALL BE PFT 2x12

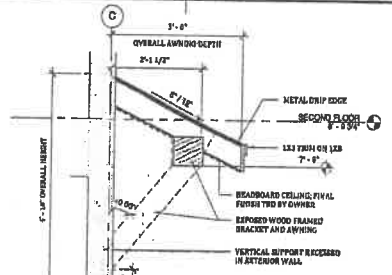
DOUBLE 2x12 PFT SILL PLATE W/ 2x4 BRACE, ANCHORED WITH CAST-IN PLACE ANCHOR BOLTS

WATERPROOFING AT FOUNDATION WALL (GROUP 1) AS PER 2012 IRC

CONCRETE FOUNDATION

WOOD SILL CLASS 1 VAPOR BARRIER

01 SECTION B-2
 3/8\"/>



<p>BUILDING SECTION ASSEMBLIES: ASPHALT ROOF CONSTRUCTION (DORMERS): - ASPHALT SHINGLES - ICE & WATER SHIELD - FULL COVERAGE - SHEATHING - R-4 INSULATION W/ CONTINUOUS VENT - 2X RAFTERS (SEE STRUCTURAL DRAWINGS) - VAPOR BARRIER - STRAPPING - DRYWALL CEILING PER OWNER</p> <p>BUILDING SECTION ASSEMBLIES: ASPHALT ROOF CONSTRUCTION (ENTRY AWNING): - ASPHALT SHINGLES - ICE & WATER SHIELD - FULL COVERAGE - SHEATHING - 2X RAFTERS (SEE STRUCTURAL DRAWINGS) - STAIRS W/ WOOD BEADBOARD UPSIDE OF RAFTERS, FINAL FINISH TBD BY OWNER</p>	<p>BUILDING SECTION ASSEMBLIES: ASPHALT ROOF CONSTRUCTION (MAIN HOUSE): - ASPHALT SHINGLES - ROOFING UNDERLAYMENT - 6 FEET OF ICE & WATER SHIELD - SHEATHING - R-49 INSULATION W/ CONTINUOUS VENT - 2X RAFTERS (SEE STRUCTURAL DRAWINGS) - VAPOR BARRIER - STRAPPING - DRYWALL CEILING PER OWNER</p> <p>CEILING: - 2X ROOF FRAMING W/ R-49 INSULATION - PROVIDE CONTINUOUS RAFTER VENT @ CATHEDRAL CEILING (MASTER BEDROOM) - PROVIDE RAFTER VENTS @ SOFFITS AS INDICATED (DRAIN SOFFIT) - VAPOR BARRIER - STRAPPING - DRYWALL CEILING PER OWNER</p>	<p>BUILDING SECTION ASSEMBLIES: CONCRETE FOUNDATION/ FOOTING (BY DESIGN/BUILD CONTRACTOR): - CONCRETE; SEE STRUCTURAL DRAWINGS FOR ELEVATION OF NEW FOUNDATION WALLS - REINFORCING AS REQUIRED - FOOTING SHALL BE SET ON NEW COMPACTED GRAVEL - PERIMETER DRAIN WITH GEO FABRIC AND CRUSHED STONE - SEE STRUCTURAL DRAWINGS</p> <p>TYPICAL FLOOR CONSTRUCTION: - HARDWOOD FLOOR FINISH (FINAL FINISH TBD BY OWNER) - 3/4" ADVANTECH SUBFLOOR (GLUED AND SCREWED) - SINGLESKIP FLOOR JOIST FRAMING (SEE STRUCTURAL DRAWINGS), BLOCKING AND BRIDGING AS REQUIRED. - R-30 BATT INSULATION (AT FIRST FLOOR LEVEL) - WOOD STRAPPING - 1/2" DRYWALL</p> <p>EXTERIOR WALL CONSTRUCTION: - SIDING: VARIED PER ELEVATIONS - 1/2" POLY. VAPOR BARRIER - SHEATHING - 2x6 WALL FRAMING @ 16" O.C. - R-31 BATT INSULATION - 6 MIL. POLY. VAPOR BARRIER - 1/2" DRYWALL</p>
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PROJECT: MB NET DESIGN

FOOD LITE PARK, SE 28th

ARCHITECT: AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
2040 1st Avenue S.E.
TAMPA, FL 33610

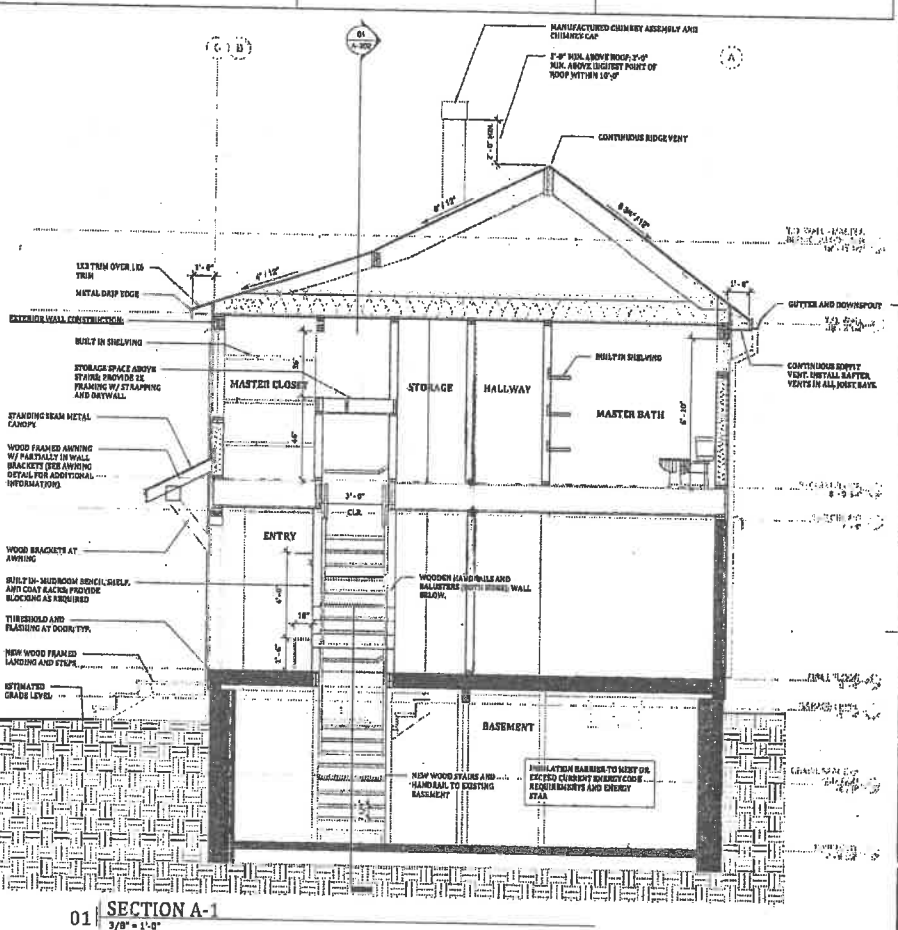
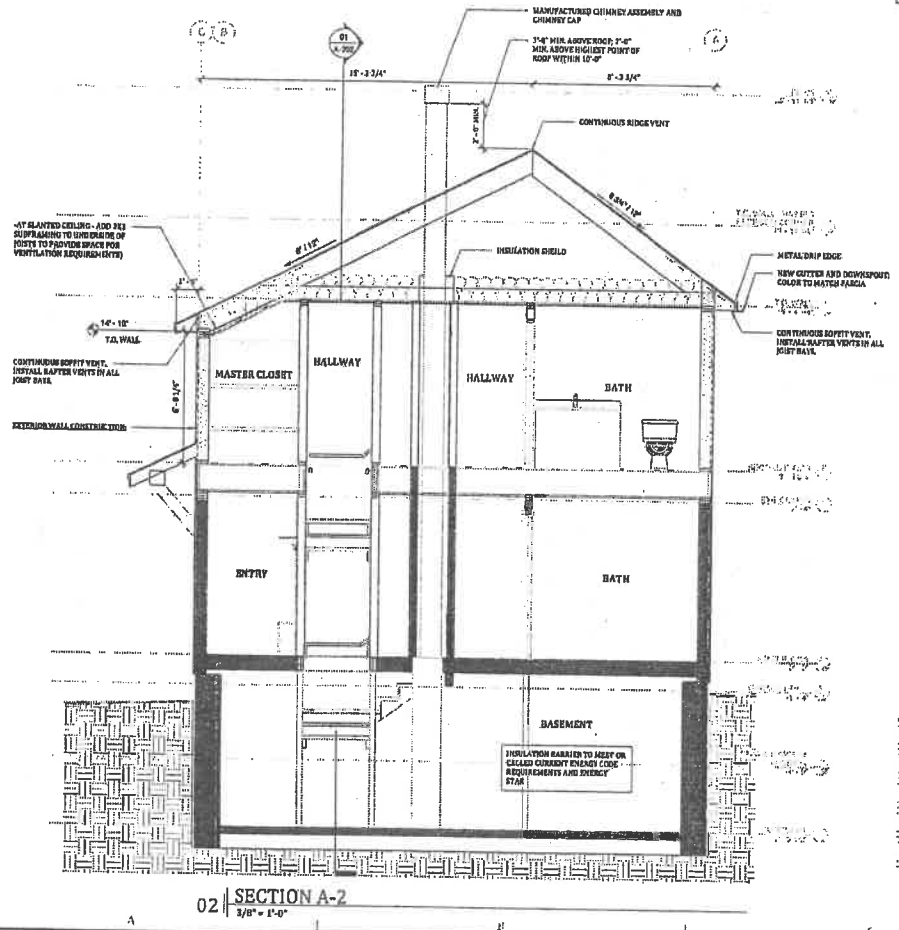
REVISIONS:

DATE: 05/14/2022

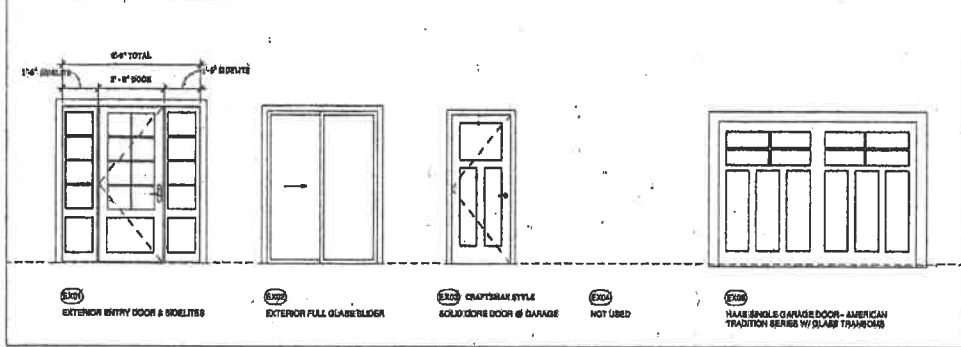
BY: [Signature]

DESCRIPTION: BUILDING SECTIONS

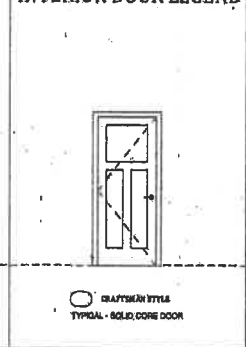
SCALE: A-203



EXTERIOR DOOR LEGEND



INTERIOR DOOR LEGEND

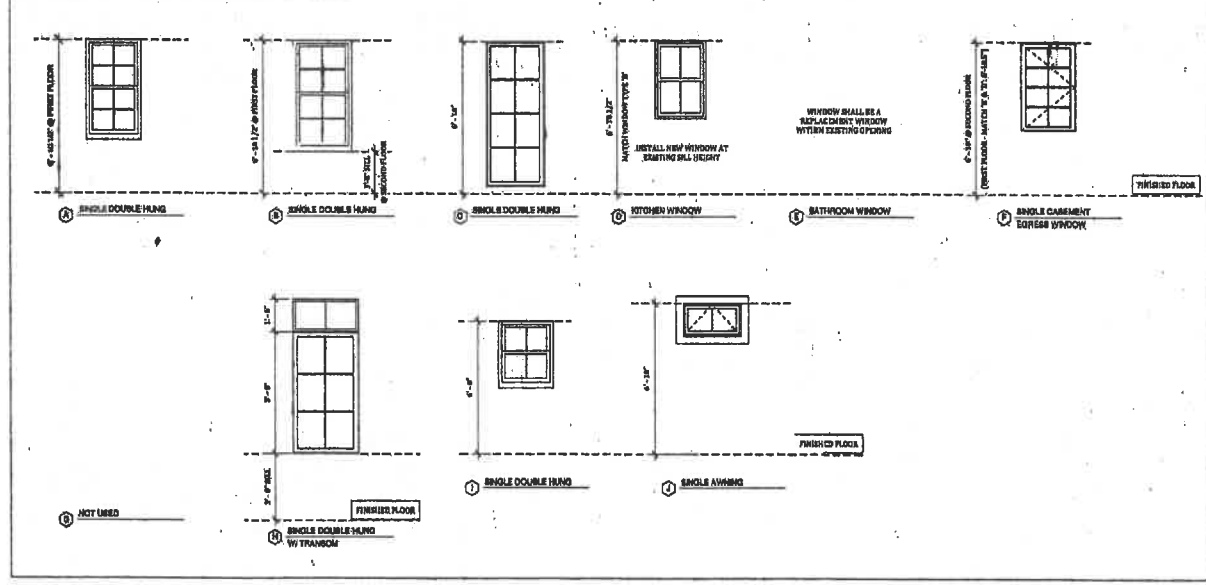


DOOR SCHEDULE

DOOR NO.	TO	DOOR SIZE		COMMENTS
		WIDTH	HEIGHT	
01	HALL	3'-0"	6'-8"	DOOR WITH GLASS
02	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
03	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
04	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
05	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
06	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
07	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
08	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
09	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
10	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
11	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
12	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
13	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
14	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
15	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
16	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
17	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
18	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
19	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
20	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
21	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
22	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
23	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
24	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
25	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
26	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
27	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
28	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
29	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
30	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
31	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
32	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
33	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
34	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
35	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
36	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
37	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
38	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
39	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
40	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
41	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
42	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
43	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
44	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
45	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
46	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
47	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
48	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
49	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
50	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
51	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
52	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
53	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
54	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
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97	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
98	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
99	HALL	3'-0"	6'-8"	SINGLE SOLID CORE
100	HALL	3'-0"	6'-8"	SINGLE SOLID CORE

- DOOR GENERAL NOTES:**
1. ALL INTERIOR/EXTERIOR CASING TO MATCH EXISTING OR AS SELECTED BY OWNER.
 2. ALL TRAIL DOOR STYLES TO BE SELECTED BY OWNER.
 3. ALL GLASS W/ IN DOORS TO BE TYPICAL.
 4. ALL GLASS IN EXTERIOR DOORS TO LOW "R" INSULATOR GLASS.
 5. ALL EXTERIOR DOORS (EX) TO BE UNFINISHED.

EXTERIOR WINDOW LEGEND



WINDOW SCHEDULE

WINDOW TAG	WIDTH (OVERALL)	HEIGHT	COMMENTS	COUNT
2	36"	48"	SINGLE DOUBLE HUNG	1
3	36"	48"	SINGLE DOUBLE HUNG	1
4	36"	48"	SINGLE DOUBLE HUNG	1
5	36"	48"	SINGLE DOUBLE HUNG	1
6	36"	48"	SINGLE DOUBLE HUNG	1
7	36"	48"	SINGLE DOUBLE HUNG	1
8	36"	48"	SINGLE DOUBLE HUNG	1
9	36"	48"	SINGLE DOUBLE HUNG	1
10	36"	48"	SINGLE DOUBLE HUNG	1
11	36"	48"	SINGLE DOUBLE HUNG	1
12	36"	48"	SINGLE DOUBLE HUNG	1
13	36"	48"	SINGLE DOUBLE HUNG	1
14	36"	48"	SINGLE DOUBLE HUNG	1
15	36"	48"	SINGLE DOUBLE HUNG	1
16	36"	48"	SINGLE DOUBLE HUNG	1
17	36"	48"	SINGLE DOUBLE HUNG	1
18	36"	48"	SINGLE DOUBLE HUNG	1
19	36"	48"	SINGLE DOUBLE HUNG	1
20	36"	48"	SINGLE DOUBLE HUNG	1
21	36"	48"	SINGLE DOUBLE HUNG	1
22	36"	48"	SINGLE DOUBLE HUNG	1
23	36"	48"	SINGLE DOUBLE HUNG	1
24	36"	48"	SINGLE DOUBLE HUNG	1
25	36"	48"	SINGLE DOUBLE HUNG	1
26	36"	48"	SINGLE DOUBLE HUNG	1
27	36"	48"	SINGLE DOUBLE HUNG	1
28	36"	48"	SINGLE DOUBLE HUNG	1
29	36"	48"	SINGLE DOUBLE HUNG	1
30	36"	48"	SINGLE DOUBLE HUNG	1
31	36"	48"	SINGLE DOUBLE HUNG	1
32	36"	48"	SINGLE DOUBLE HUNG	1
33	36"	48"	SINGLE DOUBLE HUNG	1
34	36"	48"	SINGLE DOUBLE HUNG	1
35	36"	48"	SINGLE DOUBLE HUNG	1
36	36"	48"	SINGLE DOUBLE HUNG	1
37	36"	48"	SINGLE DOUBLE HUNG	1
38	36"	48"	SINGLE DOUBLE HUNG	1
39	36"	48"	SINGLE DOUBLE HUNG	1
40	36"	48"	SINGLE DOUBLE HUNG	1
41	36"	48"	SINGLE DOUBLE HUNG	1
42	36"	48"	SINGLE DOUBLE HUNG	1
43	36"	48"	SINGLE DOUBLE HUNG	1
44	36"	48"	SINGLE DOUBLE HUNG	1
45	36"	48"	SINGLE DOUBLE HUNG	1
46	36"	48"	SINGLE DOUBLE HUNG	1
47	36"	48"	SINGLE DOUBLE HUNG	1
48	36"	48"	SINGLE DOUBLE HUNG	1
49	36"	48"	SINGLE DOUBLE HUNG	1
50	36"	48"	SINGLE DOUBLE HUNG	1
51	36"	48"	SINGLE DOUBLE HUNG	1
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95	36"	48"	SINGLE DOUBLE HUNG	1
96	36"	48"	SINGLE DOUBLE HUNG	1
97	36"	48"	SINGLE DOUBLE HUNG	1
98	36"	48"	SINGLE DOUBLE HUNG	1
99	36"	48"	SINGLE DOUBLE HUNG	1
100	36"	48"	SINGLE DOUBLE HUNG	1

- WINDOW GENERAL NOTES:**
1. WINDOW HEAD ROOM SHALL BE STANDARD ROOM HEIGHTS PER VILLA PER OWNER. CONTACT CONTRACTOR TO VERIFY HEAD ROOM TO MATCH STANDARD ROOM OF CONSTRUCTION.
 2. ALL GLASS TO BE LOW "R" INSULATOR GLASS.
 3. ALL GLASS W/ IN 1" OFF THE FLOOR OR ADJACENT TO DOORS TO BE PERMITTED TO BE TYPICAL GLASS. ALL OTHERS TO BE TYPICAL GLASS. CONTACT CONTRACTOR TO VERIFY HEAD ROOM TO MATCH STANDARD ROOM OF CONSTRUCTION.
 4. VERIFY ALL WINDOW PATTERNS WITH OWNER PRIOR TO ORDERING.
 5. PROVIDE SCHEDULE AS REQUESTED BY OWNER.
 6. PROVIDE JAMB EXTENSION AS REQUESTED FOR EXTRA ROOM.
 7. ALL COLORS & MATERIALS PER OWNER'S CHOICE.
 8. ALL INTERIOR/EXTERIOR CASING TO MATCH EXISTING OR AS SELECTED BY OWNER.
 9. WINDOW HEAD HEIGHT AT 4'-0" TYP. UNLESS NOTED OTHERWISE.

ARCHITECT: MB HST DESIGN

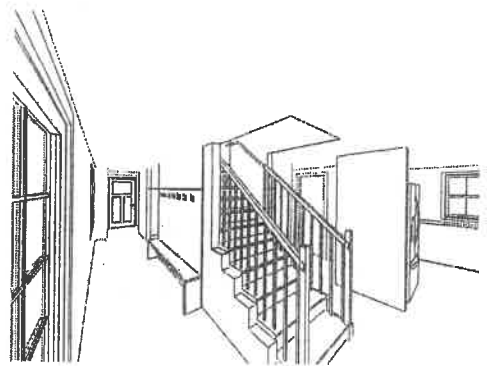
PROJECT: AMSDEN RESIDENCE

DESIGNER: MATTHEW R. ASHLEY AMSDEN

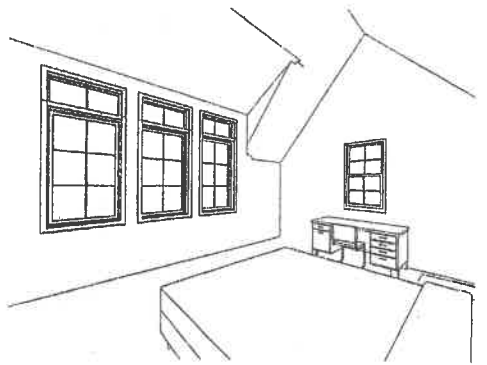
DATE: 20 NOV 2022

WINDOW & DOOR SCHEDULES

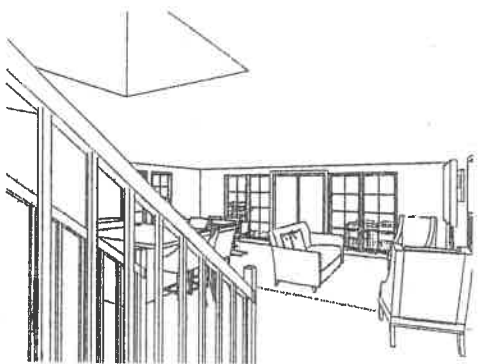
A-301



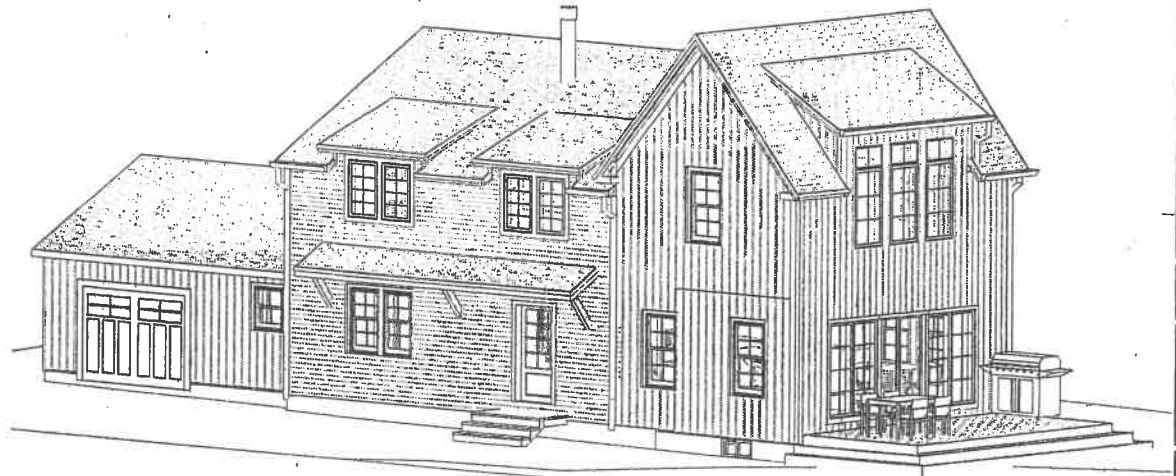
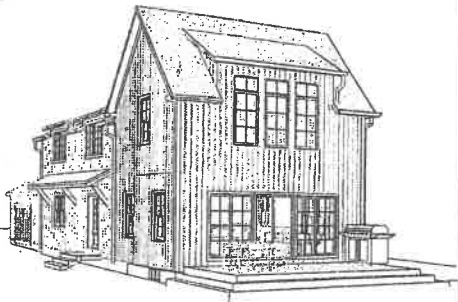
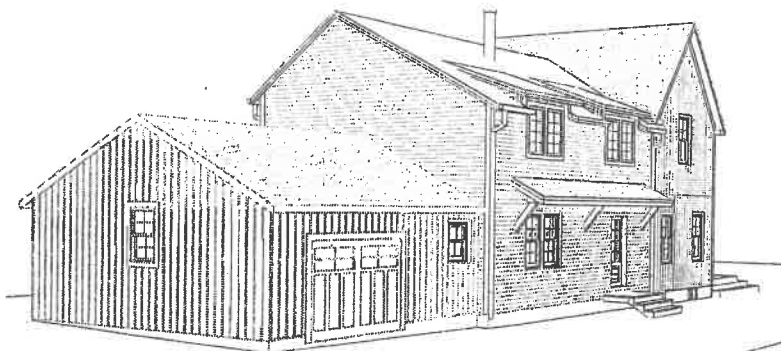
C | INTERIOR ENTRY



B | INTERIOR - MASTER



A | INTERIOR LIVING



ARCHITECT
MB NET DESIGN



PO BOX 1816
PASCOA, NH 03001

AMSDEN RESIDENCE

MATTHEW & ASHLEY AMSDEN
ARCHITECTS AND
INTERIORS, INC.

REVISION:

DATE:

DESIGNED BY
DRAWN FOR PERMIT
26 NOV 2022

SCALE: 1/8" = 1'-0"

3D VIEWS

DATE: 11/26/22

A-401

GENERAL NOTES

1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS SUPPLEMENTARY INFORMATION FOR THE PROJECT. THE REFERENCED STANDARDS ARE PART OF THE WORK.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS. CONSULT ALL OTHER PROJECT DOCUMENTS FOR LOCATION AND DIMENSIONS OF CONCRETE, CHAIRS, REBAR, BOLTS, BRACKETS, DEPENDENCIES, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. ALL DIMENSIONS BETWEEN CONCRETE AND ALL-CAST CONCRETE MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. REVISIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWING SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO MODIFY DETAILS TO ADDRESS OTHER PROJECT CONDITIONS.
5. IN ACCORDANCE WITH NEW YORK STATE BUILDING & FIRE SAFETY DIVISION (BSFD) SECTION 2601.00, ALL SPECIAL SPECIFICATIONS ARE REQUIRED BY THE LOCAL CODE OFFICIAL. SEE THE FOUNDATION OF SPECIFICATIONS AND THE PROJECT SPECIFICATIONS FOR ADDITIONAL DETAILS.
6. ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
7. THE STRUCTURE IS DESIGNED TO BE REPAIRABLE AND RESTORED ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE STRUCTURAL DRAWINGS IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE REPAIR PROCEDURE AND ASSURANCE TO MAINTAIN THE SAFETY OF THE BUILDING AND TO COMPLY WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, INSURANCE, BONDS, AND OTHER REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

FOUNDATION NOTES

1. FOUNDATION CODES:
 - NEW YORK STATE BUILDING CODE
 - INTERNATIONAL BUILDING CODE 2015 EDITION
 - ASCE 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - ACI 308R-11
2. DESIGN ADDITIONAL LOADS:

DESCRIPTION	UNIFORM CONCENTRATED
RESIDENTIAL (ONE- & TWO-FAMILY)	30 PSF / 30 PSF
UNFINISHED ATTIC WORKSPACE	10 PSF
HABITABLE ATTIC AND BUNKER AREA	40 PSF
FULL FLOOR FINISH (20' x 20' AND 12' x 12')	DESIGN GOVERNED BY FLOOR
3. DESIGN ROOF SNOW LOAD:

DESIGN SNOW LOAD (PSF)	40 PSF
SNOW REMOVAL INCREASE (PSF)	1.8
SNOW LOAD PERFORMANCE RATION (PSF)	41.8
ROOF SNOW LOAD (PSF)	41.8
4. DESIGN WIND LOAD:

DESIGN WIND SPEED (MPH)	110 MPH
MINIMUM DESIGN WIND SPEED (MPH)	80 MPH
WIND EXPOSURE	EXPOSED
MINIMUM PRESSURE COEFFICIENT	0.18

FOUNDATION NOTES, CONTINUED

1. IF THE CONTRACTOR ACCEPTS RESPONSIBILITY TO VERIFY SITE SOIL CONDITIONS AND TO MAKE ANY CORRECTIONS TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING FOUNDATION WORK.
 2. A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL REPORT AND FOR PROVIDING THE RESULTS TO THE ARCHITECT PRIOR TO COMMENCING FOUNDATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, INSURANCE, BONDS, AND OTHER REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
 3. PREPARE THE FOUNDATION CHAIRS AND BOLTS.
 4. VERIFY BOTTOM OF GRADE FOOTING IS AT LEAST 4 FEET BELOW FINISH FLOOR GRADE FOR PROTECTION AGAINST FROST.
 5. CONTRACTED STRUCTURAL REINFORCING SHALL BE USED TO FACILITATE THE DESIGN FOOTING SIZES AND SPACING. ALL REINFORCING SHALL BE CONFORMANT WITH THE DESIGN AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, INSURANCE, BONDS, AND OTHER REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- | SECTION OR VIEW | PERCENT BARS |
|-----------------|--------------|
| 1 INCH | 100 |
| 3/4 INCH | 75 |
| 1/2 INCH | 50 |
| NO. 4 | 25 |
| NO. 3 | 10 |
4. STRUCTURAL REINFORCING SHALL BE PLACED IN UNIFORM LAYER DISTRIBUTION AND SHALL BE CONFORMANT TO ALL APPLICABLE REGULATIONS. REINFORCING SHALL BE USED FOR CONNECTION WITH OTHER STRUCTURAL MEMBERS.
 5. REINFORCING SHALL BE PLACED AT THE BOTTOM OF THE FOUNDATION WALL AND PROVIDE POSITIVE GRAVITY FLOW TO PROTECT AGAINST UPLIFT.
 6. REINFORCING SHALL BE PLACED AT THE BOTTOM OF THE FOUNDATION WALL AND PROVIDE POSITIVE GRAVITY FLOW TO PROTECT AGAINST UPLIFT.
 7. REINFORCING SHALL BE PLACED AT THE BOTTOM OF THE FOUNDATION WALL AND PROVIDE POSITIVE GRAVITY FLOW TO PROTECT AGAINST UPLIFT.
 8. REINFORCING SHALL BE PLACED AT THE BOTTOM OF THE FOUNDATION WALL AND PROVIDE POSITIVE GRAVITY FLOW TO PROTECT AGAINST UPLIFT.
 9. REINFORCING SHALL BE PLACED AT THE BOTTOM OF THE FOUNDATION WALL AND PROVIDE POSITIVE GRAVITY FLOW TO PROTECT AGAINST UPLIFT.

CONCRETE NOTES

1. CONCRETE WORK SHALL CONFORM TO THE "MANUAL OF CONCRETE PRACTICE" INCLUDING BUT NOT LIMITED TO ACI 308.1 "MIXING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND ACI 309 "SPECIFICATIONS FOR STRUCTURAL CONCRETE".
 2. CONCRETE SHALL BE READY-MIXED CONCRETE. PROPORTIONS SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER.
 3. JOINTS BETWEEN CONCRETE WALLS WILL NOT BE PERMITTED.
 4. JOINTS BETWEEN CONCRETE WALLS WILL NOT BE PERMITTED.
- FOOTINGS AND FOUNDATION WALLS**
- A. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - B. 7 DAY COMPRESSIVE STRENGTH: 3000 PSI
 - C. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - D. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - E. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
- INTERIOR SLAB ON GRADE AND ELEVATED SLABS**
- A. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - B. 7 DAY COMPRESSIVE STRENGTH: 3000 PSI
 - C. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - D. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - E. 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
- ADDITIONAL NOTES:**
- CONCRETE AND DESIGN ADMIXTURE SHALL CONFORM WITH THE FOLLOWING:
- A. AIR ENTRAINMENT ADMIXTURE (ASTM C778)
 - B. WATER REDUCING ADMIXTURE (ASTM C494) TYPE C
 - C. RETARDING ADMIXTURE (ASTM C494) TYPE C
 - D. CONCRETION ADMIXTURE (ASTM C494) TYPE C
 - E. CALCIUM CHLORIDE (PROHIBITED IN CONCRETE MIX)

NOTES

1. ADD AIR ENTRAINMENT ADMIXTURE AT MANUFACTURER'S RECOMMENDED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING THE PROPERTIES AS SPECIFIED.
2. ADDITIONAL WATER SHALL BE ADDED BY THE CONTRACTOR TO MAINTAIN WORKABILITY AND TO PREVENT SEGREGATION. EXCESS WATER SHALL BE REMOVED BY THE CONTRACTOR.

NOTES

1. WATER SHALL BE ADDED AT THE POINT OF PLACEMENT TO MAINTAIN WORKABILITY AND TO PREVENT SEGREGATION. EXCESS WATER SHALL BE REMOVED BY THE CONTRACTOR.
2. CONCRETE SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1. CONCRETE SHALL NOT BE PLACED IN FREEZE OR THAW CYCLES.
3. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
4. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
5. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
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20. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.

NOTES

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18. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
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20. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.

NOTES

1. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
2. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.
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20. REINFORCING SHALL BE PLACED TO AVOID COLLISION WITH OTHER REINFORCING AND SHALL BE PROTECTED FROM WEATHER AND CORROSION.

WOOD FINISHING NOTES

1. WOOD FINISHING SHALL CONFORM TO THE APPLICABLE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) AND WOOD FINISHING SHALL CONFORM TO AMERICAN WOOD FINISHING ASSOCIATION (AWFA) STANDARDS.
 2. WOOD FINISHING SHALL BE SQUARE, PLANE, TRUE, AND LEVEL. CONNECTIONS SHALL BE MADE WITHOUT THE USE OF NAILS.
 3. WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1. WOOD FINISHING SHALL NOT BE PLACED IN FREEZE OR THAW CYCLES.
 4. STRUCTURAL CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, INSURANCE, BONDS, AND OTHER REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- WOOD FINISHING MATERIALS**
- A. ALL WOOD SHALL BE DRY (MOISTURE CONTENT NOT TO EXCEED 19%) AT THE TIME OF INSTALLATION.
 - B. ALL WOOD SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - C. ALL WOOD SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - D. ALL WOOD SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - E. ALL WOOD SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
- WOOD FINISHING CONNECTIONS**
- A. ALL WOOD FINISHING SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS.
 - B. ALL WOOD FINISHING SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS.
 - C. ALL WOOD FINISHING SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS.
 - D. ALL WOOD FINISHING SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS.
 - E. ALL WOOD FINISHING SHALL BE MADE IN ACCORDANCE WITH THE DESIGN AND ALL APPLICABLE REGULATIONS.
- WOOD FINISHING PROTECTION**
- A. ALL WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - B. ALL WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - C. ALL WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - D. ALL WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.
 - E. ALL WOOD FINISHING SHALL BE PROTECTED FROM HOT OR COLD WEATHER AS REQUIRED BY ACI 308.1.

BOHINSKY CONSULTING

MR NET DESIGN

AMSDEN RESIDENCE

MATTHEW & ASHLEY AMSDEN

PROFESSIONAL ENGINEER

NO. 14572

CONSTRUCTION DOCUMENT

24 NOVEMBER 2012

General Notes

S-1

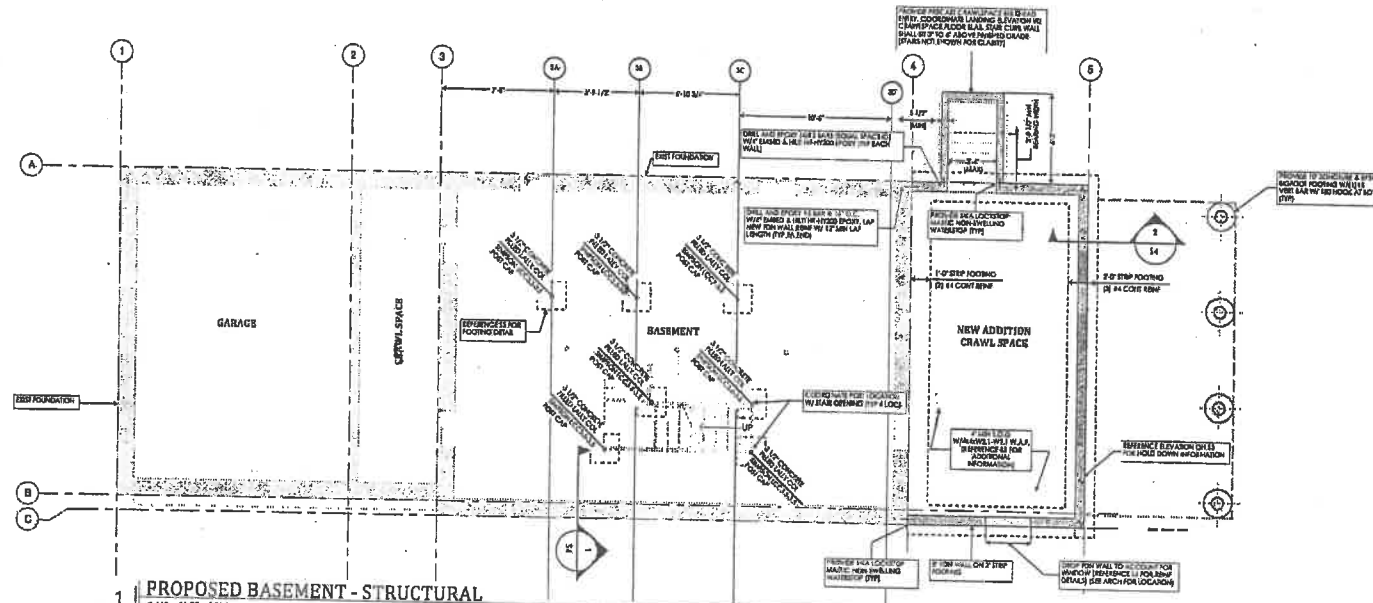
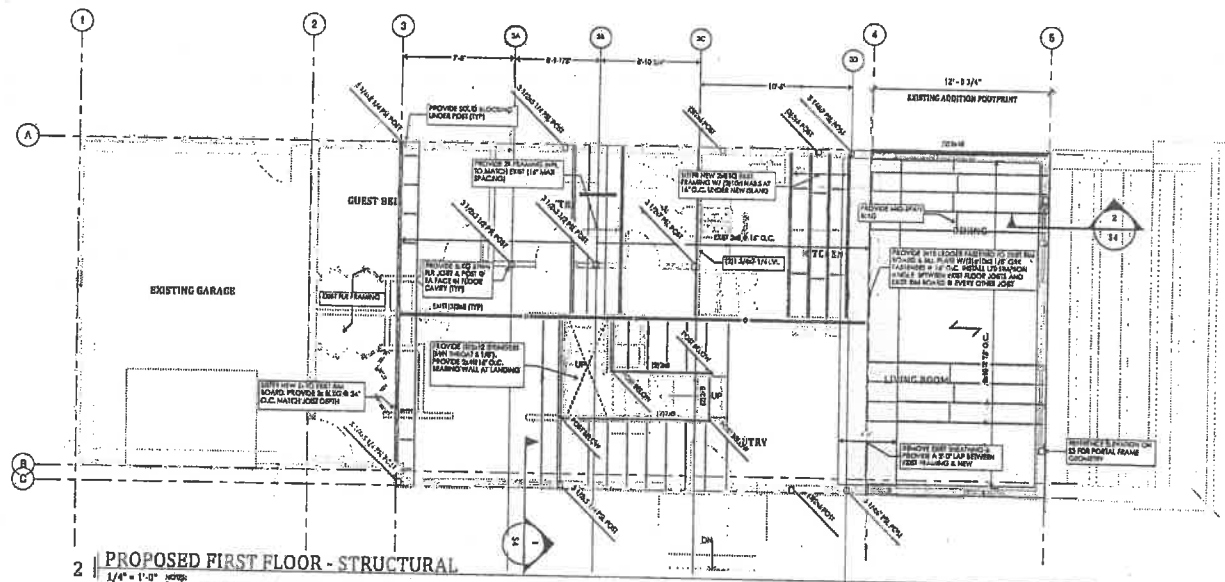
MEMBER SCHEDULE	
MEMBER SIZE	MARKER
2#	1/2"
4#	1/2"
6#	1/2"
8#	1/2"
10#	1/2"
12#	1/2"
14#	1/2"
16#	1/2"
18#	1/2"
20#	1/2"

HOLD DOWN SCHEDULE	
TYPE	POST SIZE
H.D. - 1	4" x 4"
H.D. - 2	4" x 4"

NOTE: ALL HOLD DOWNS TO BE INSTALLED AT THE END OF EACH MEMBER.

BRICK WALL SCHEDULE	
TYPE	POST SIZE
B.W. - 1	4" x 4"
B.W. - 2	4" x 4"

REINFORCING BAR LAP SCHEDULE	
BAR SIZE	LAP LENGTH
#4	48"
#6	72"



BOHUNSKY CONSULTING
 1000 10th Street, Suite 100
 Philadelphia, PA 19107
 (215) 563-1000

ARCHITECT
MB NET DESIGN

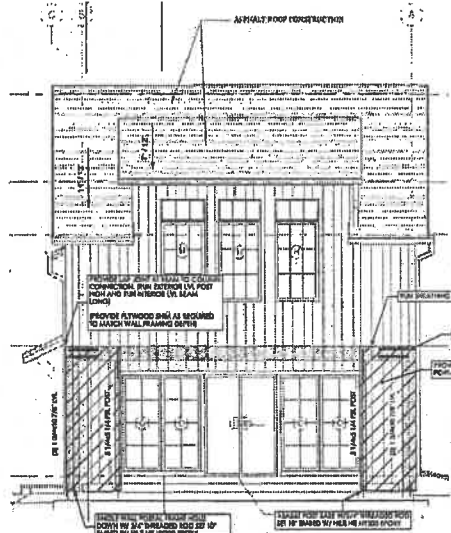
CLIENT
AMSDEN RESIDENCE
 MATTHEW & ASHLEY AMSDEN
 1000 10th Street, Suite 100
 Philadelphia, PA 19107

DATE:
 KYLE D. BOHUNSKY
 No. 14572
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

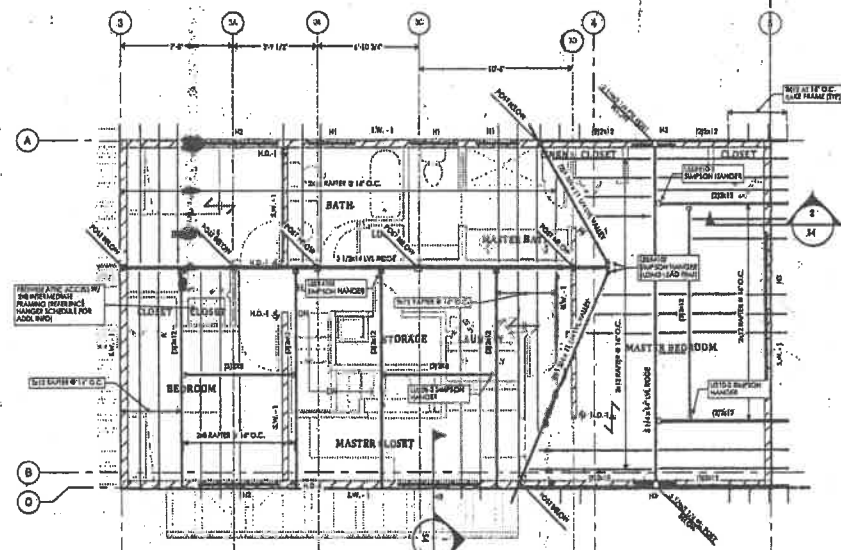
SCALE:
 CONTRACTOR DOCUMENT
 23 NOVEMBER 2021

PROJECT:
 FLOOR PLANS

SHEET NUMBER:
 S-2

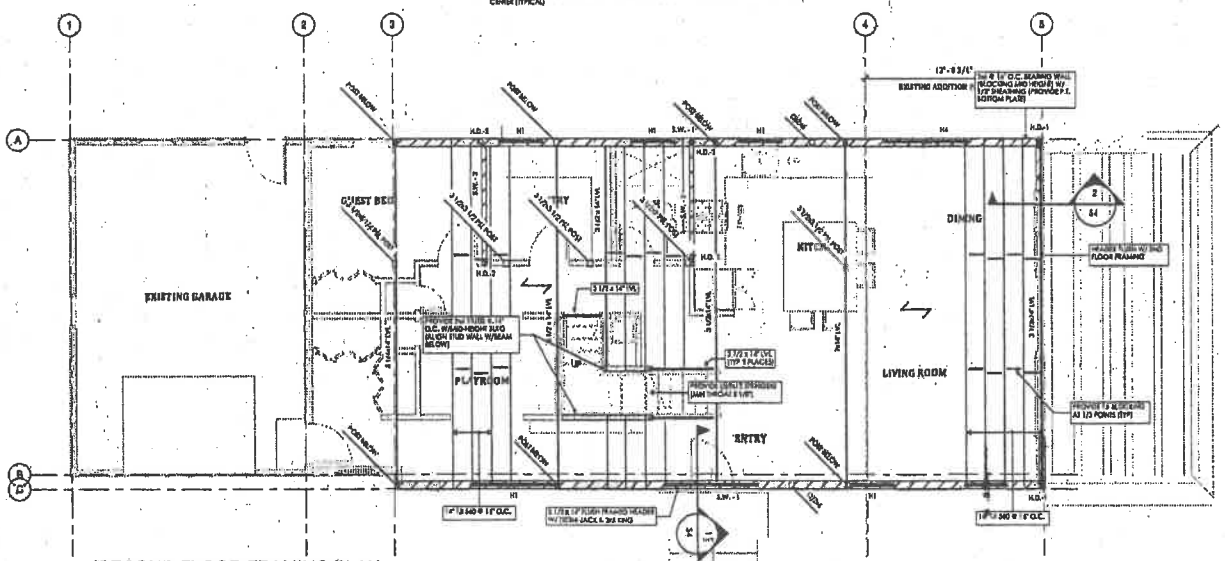


PORTAL FRAME ELEVATION



1 ROOF FRAMING PLAN
1/4" = 1'-0"

MEMBER SCHEDULE		
TYPE	MEMBER SIZE	SUPPORT FRAMING
H1	2x8	2x8 JACK & 2x8 CHG
H2	2x8	2x8 JACK & 2x8 CHG
H3	2x8	2x8 JACK & 2x8 CHG
H4	2x8	2x8 JACK & 2x8 CHG



2 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

BOHNSKY CONSULTING
10000 10th Street, Suite 100
Dallas, TX 75243
214-343-1111
BOHNSKYCONSULTING.COM

MB NET DESIGN

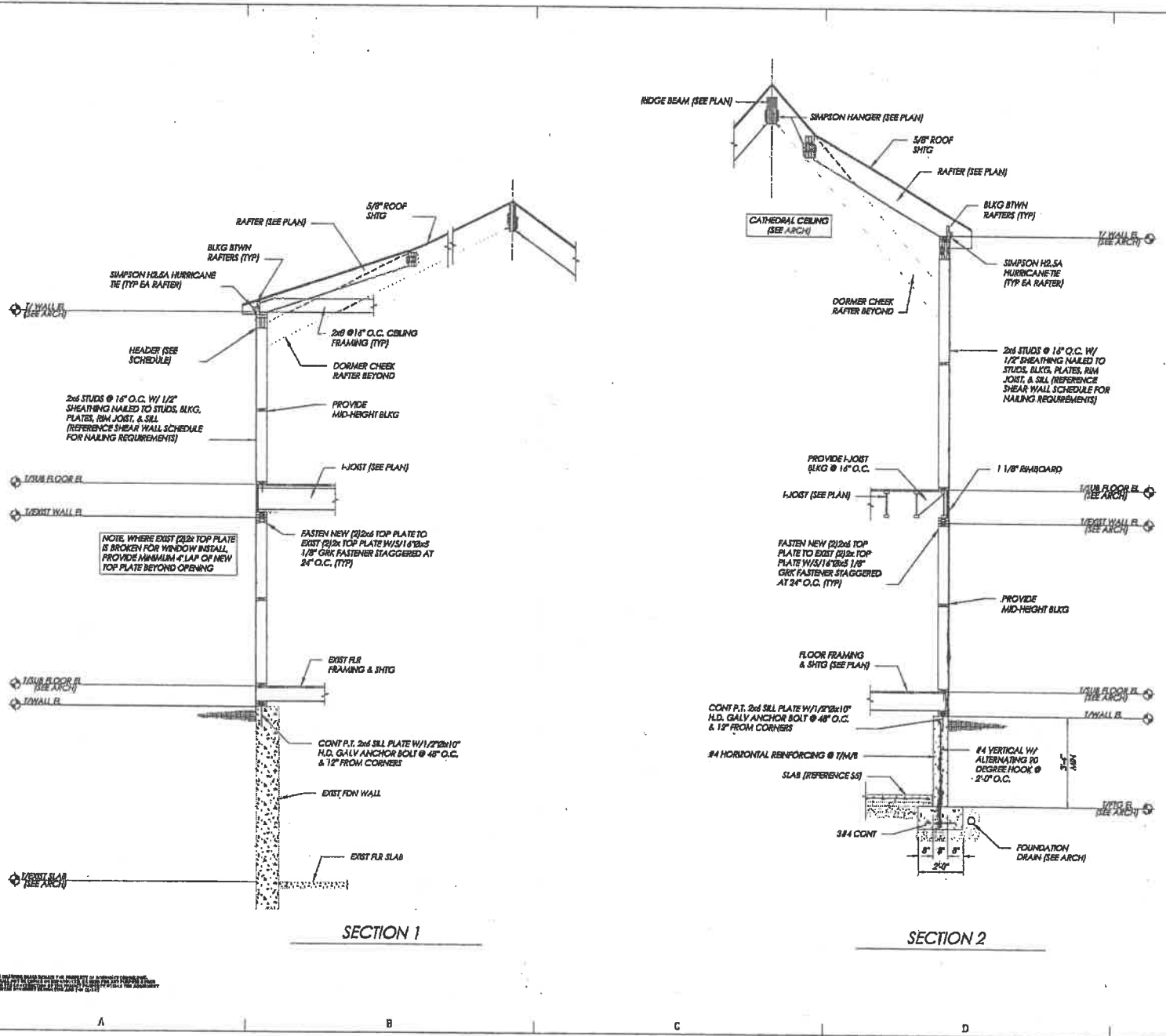
AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
10000 10th Street, Suite 100
Dallas, TX 75243

SEAL
KYLE D. BOHNSKY
No. 14872
REGISTERED PROFESSIONAL ENGINEER
CIVIL

CONTRACT DOCUMENTS
CONSTRUCTION DOCUMENTS
EXHIBIT B-1

DATE
FLOOR PLANS

PROJECT NUMBER
S-3



ARCHITECT
MB NET DESIGN

AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
200 BARKLEY ROAD
ANN ARBOR, MI

ADDRESS

DATE
KYLE D. KOHUNSKY
No. 14572
REGISTERED PROFESSIONAL ENGINEER
CIVIL

EXAMINER
COUNTY SHERIFF'S OFFICE
30 W. WATSON ST. SUITE 202

DRAWING TITLE

Framing Sections

AGENT REQUIRED

S-4



**BOHUNSKY
CONSULTING**
16100 SW 27th Ave, Suite 101
Miami, FL 33155
781.446.4464
www.bohunsky.com

ARCHITECT
MB NET DESIGN

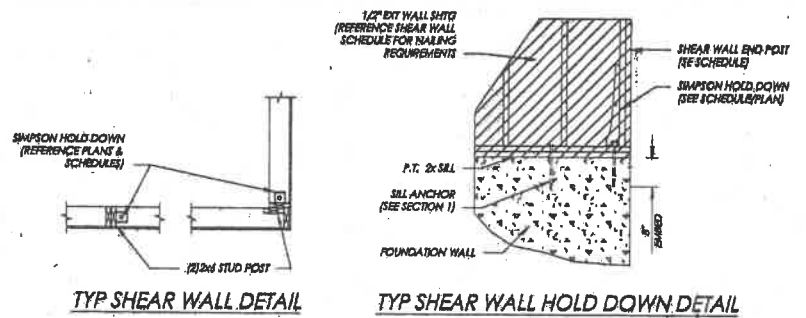
AMSDEN RESIDENCE
MATTHEW & ASHLEY AMSDEN
2718 WINDY HILL ROAD
DADE COUNTY, FL 33155

DESIGNER
KYLE D. BOHUNSKY
144572
PROFESSIONAL ENGINEER
CIVIL

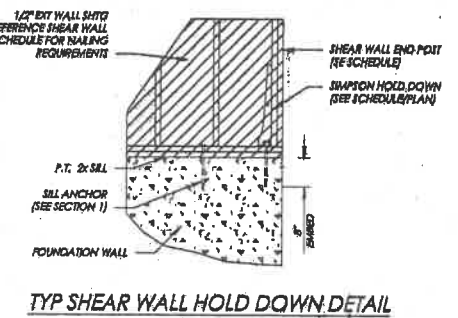
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CONSTRUCTION DOCUMENT
28 NOVEMBER 2012

DRAWING TITLE
Framing Details

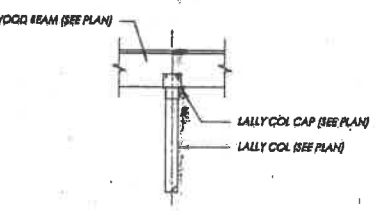
DATE REVISION
S-5



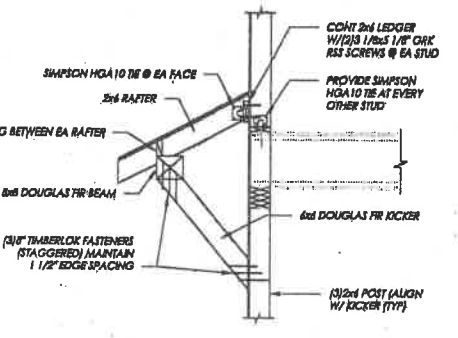
TYP SHEAR WALL DETAIL



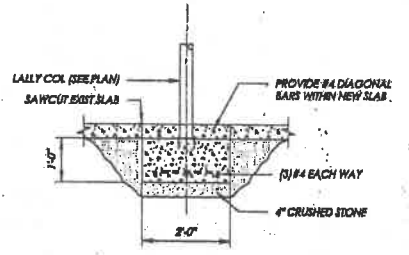
TYP SHEAR WALL HOLD DOWN DETAIL



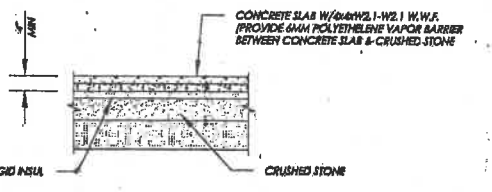
TYP LALLY COLUMN CAP DETAIL



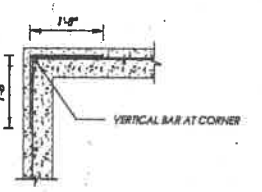
TYP AWNING FRAMING DETAIL



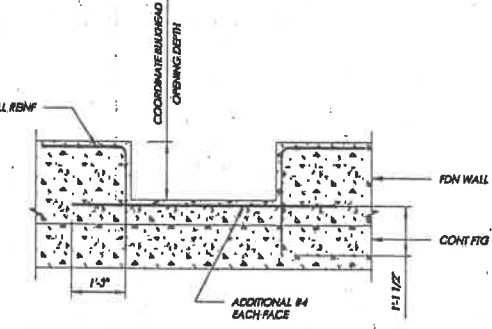
TYP FOOTING DETAIL



TYP SLAB ON GRADE DETAIL



TYP WALL CORNER REINFORCING DETAIL



TYP WALL OPENING DETAIL

NOTES:
1. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
2. SEE ALL SCHEDULES AND REFERENCE PLANS.
3. SEE ALL NOTES TO SPECIFICATIONS.

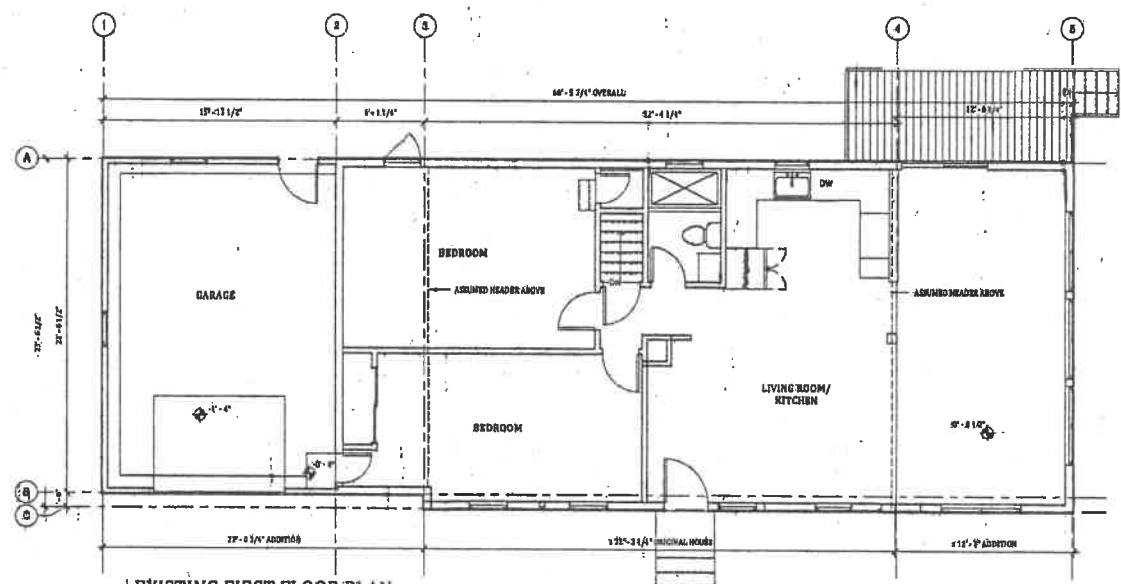
A

B

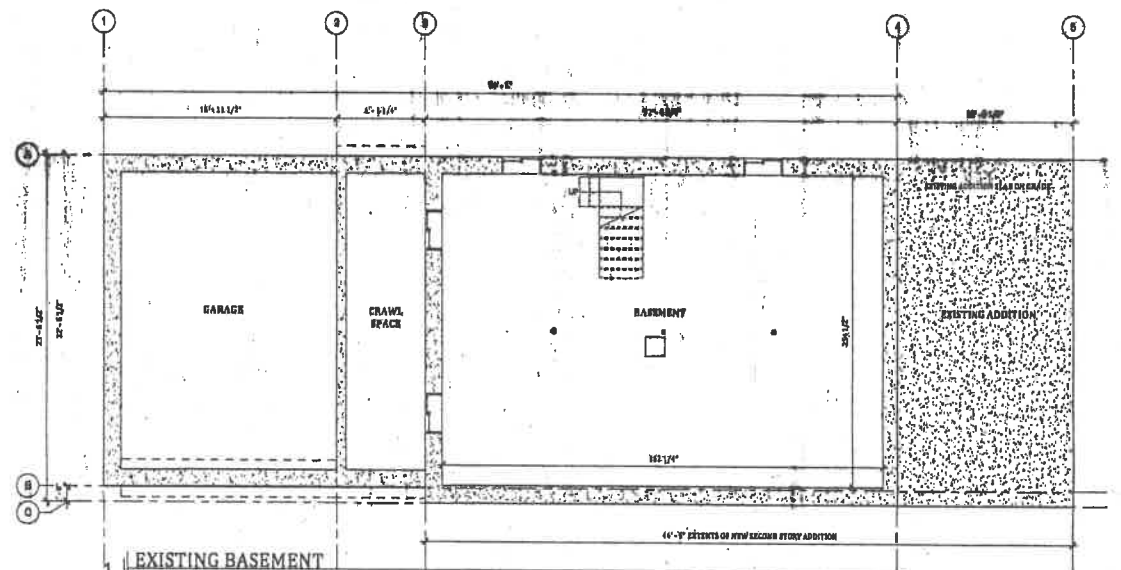
C

D

E



2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



1 EXISTING BASEMENT
1/4" = 1'-0"

ARCHITECT
MB NET DESIGN
 10 BOX 1554
 HARRIS, AR 72413

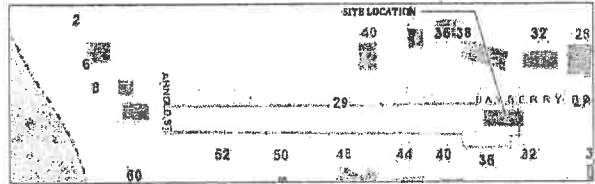
CLIENT
AMSDEN RESIDENCE
 MATTHEW & ASHLEY AMSDEN
 10 BOX 1554
 HARRIS, AR 72413

DATE
 08/14/2014

SCALE
 1/4" = 1'-0"

DESCRIPTION
EXISTING FLOOR PLANS

PROJECT NUMBER
EXA



AMSDEN RESIDENCE

MATTHEW & ASHLEY AMSDEN
 29 BAYBERRY ROAD
 JAMESTOWN, RI

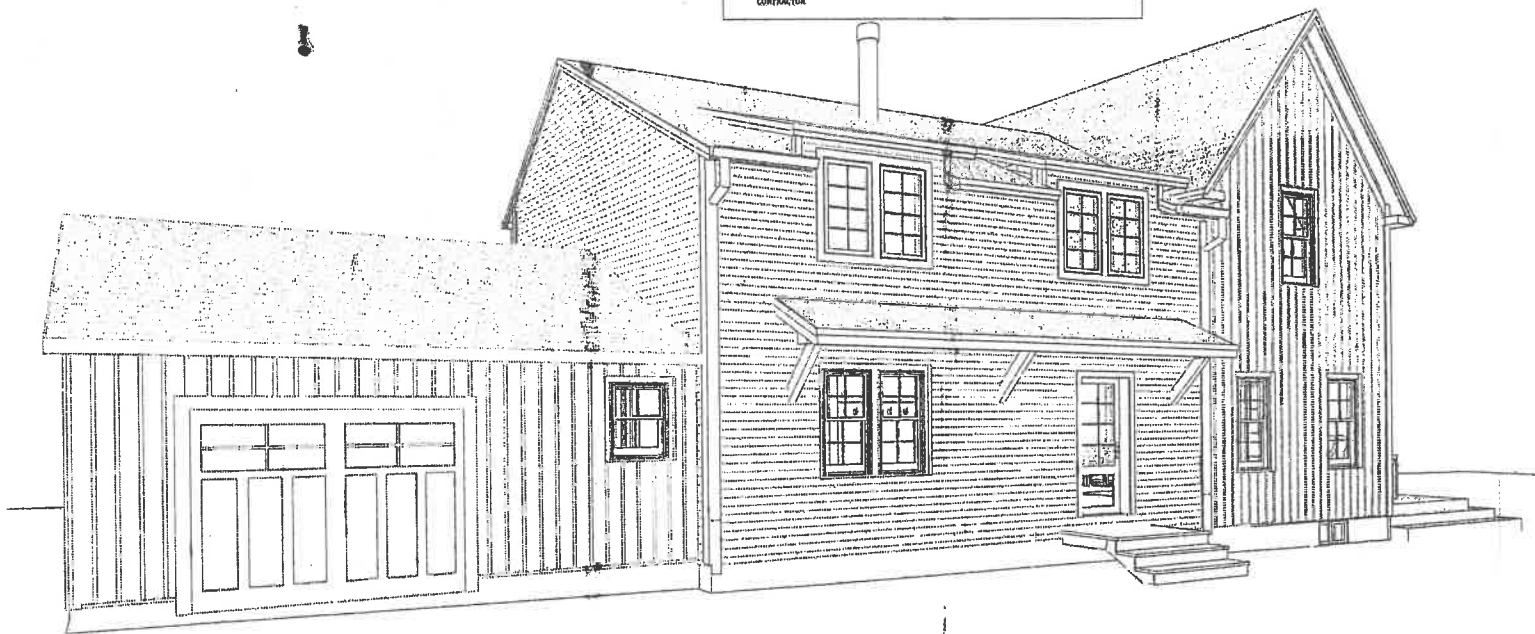
- ADMINISTRATIVE PRICES (OPTIONAL/ENHANCED)**
 CONTRACTOR TO PRICE THE FOLLOWING OPTIONS:
1. EXTERIOR CLADDING MATERIAL: WOOD OR VINYL
 2. EXTERIOR ENTRY STAIRS & LANDING: GRANITE VS. WOOD (TO MATCH EXISTING EXTERIOR DECK)
 3. DOORWAY & ANYING ROOF CONSTRUCTION: ASPHALT VS. METAL STANDING SEAM
 4. KITCHEN/PANTRY/MULTIROOM COUNTERTOP: PLASTIC LAMINATE VS. GRANITE

- GENERAL PRICES (NOTES)**
 CLARIFY: ALL CALLOUTS IDENTIFIED ON DRAWINGS TO BE PROVIDED/INSTALLED BY CONTRACTOR
- ALL CLOSET RODS/SHELVING IN CLOSETS
 - ALL SHOWER/SLIP-RESISTANT CLADDING
 - MASTER CLOSET BUILT-IN ORGANIZING
 - BATHROOM VANITIES
 - KITCHEN/PANTRY/LAUNDRY ROOM CABINETS/SHELVING & COUNTERTOPS
 - HIDDEN BENCH/SEATING
- PROVIDE SEPARATE PRICING FOR PERGOLA STRUCTURE
 - PROVIDE SEPARATE PRICING FOR NEW ROOF AT EXISTING GARAGE.

- GENERAL NOTES**
1. ALL TRADE WORK IN THIS SECTOR IS TO COMPLY WITH ALL LOCAL AND STATE CODES (LUB @ 87) EDITION.
 2. ALL CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE COMPLETED ON A DESIGN/BUILD BASIS BY THE CONTRACTOR. SUBJECT TO OWNER/ARCHITECT APPROVAL/STRUCTURAL DESIGN SUPPLIED BY SOLELY THE CONTRACTOR.
 3. ALL REQUIRED PERMITS FOR THIS SCOPE SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 4. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, CONTACT ARCHITECT WITH ANY MAJOR DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.
 5. ALL WOOD IN CONTACT WITH CONCRETE OR STEEL TO BE PRESERVE TREATED. ALL WOOD WITHIN 18" OF GRADE TO BE PRESERVE TREATED.
 6. ALL ITEMS SHALL BE INSTALLED PER WRITTEN INSTRUCTIONS BY THE MANUFACTURER.
 7. THE SCOPE OF WORK WITHIN THESE DRAWINGS DOES NOT INCLUDE: ALL CONSTRUCTION DETAILS SHALL BE COMPLETED ON A DESIGN/BUILD BASIS IN CONJUNCTION WITH THE CONTRACTOR'S MEANS AND METHOD OF PROFESSIONAL MANAGER.
 8. ALL FINISHES TO BE SELECTED AND COORDINATED 8 WEEKS PRIOR TO OWNER FOR ALL FLOORING, COLOUR, TEXTURES, FIXTURES, APPLIANCES, CABINETS, LIGHTING, ETC. ALL FINISHING AND ELECTRICAL FIXTURES TO BE SELECTED BY THE OWNER.
 9. ALL INTERIOR TRIM DETAILS INCLUDING WALL BASE, DOOR STYLE, CASING AT DOORS AND WINDOWS TO MATCH EXISTING OR BE SELECTED BY OWNER.
 10. ALL SITE DRAINAGE AND GRADING TO BE CONSTRUCTED ON A DESIGN/BUILD BASIS BY THE SITE CONTRACTOR.

DRAWINGS LIST

ARCHITECTURAL	DESCRIPTION
01A	EXISTING FLOOR PLANS
02A	EXISTING EXTERIOR ELEVATIONS
10-100	DEMOLITION FLOOR PLANS
A1-100	PROPOSED FLOOR PLANS
A1-101	PROPOSED FLOOR PLANS
A1-102	PROPOSED EXTERIOR ELEVATIONS
A1-103	BUILDING SECTIONS
A1-104	SECTION & FOUNDATION DETAILS
A1-105	3D VIEWS
A1-106	PALETTE
STRUCTURAL - SUBMITTAL COORDINATING	DESCRIPTION
S1	GENERAL NOTES
S2	FLOOR PLANS
S3	FLOOR PLANS
S4	FRAMING ELEVATIONS
S5	FRAMING DETAILS



MB NET DESIGN
 100 CUSHING STREET, SUITE 100, PROVIDENCE, RI 02903

30 NOV 2022

ISSUED FOR PERMIT



Map 12 Lot 71
of
Rodney P. Thomas

BENCH MARK
NAIL IN POLE #6
ELEVATION = 100.00
ASSUMED DATUM

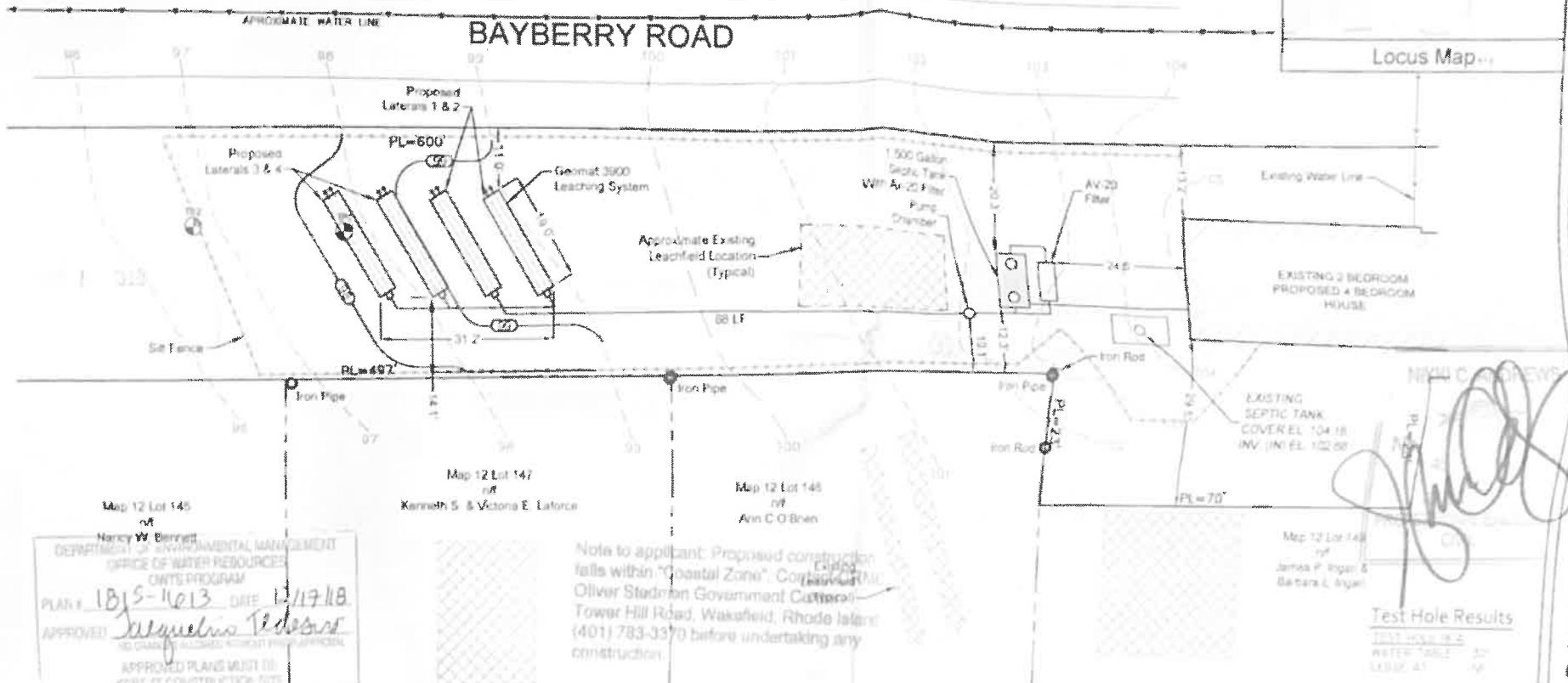
Map 12 Lot 60
of
Patricia A. Thomas

"Copy of Permit and Operation/
Maintenance contract must be
filed in land evidence records
prior to conformance"

SITE

Locus Map...

M.T. LOTT
Construction Management
Design-Build • General Contracting
643 NORTH MAIN ROAD, JAMESTOWN, RHODE ISLAND 02831
PHONE: (401) 433-3271



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
OWTS PROGRAM
PLAN # 1815-14613 DATE 11/17/18
APPROVED: *[Signature]*
APPROVED PLANS MUST BE KEPT AT CONSTRUCTION SITE

Note to applicant: Proposed construction falls within "Coastal Zone". Contact the Oliver Stedman Government Cultural Tower Hill Road, Wakefield, Rhode Island (401) 783-3370 before undertaking any construction.

Test Hole Results
TEST HOLE #2
WATER TABLE 12'
LEAK AT 12'
TEST HOLE #3
WATER TABLE 50'
LEAK AT 16'
SYSTEM DESIGN USING SOIL CATEGORY: R

- General Notes**
- 1.) SITE IS LOCATED WITHIN FLOOD X ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE TOWN OF JAMESTOWN, NEWPORT COUNTY. COMMUNITY PANEL NUMBER 4200C007J. MAP EFFECTIVE DATE SEPTEMBER 4, 2013
 - 2.) SUBJECT SITE DOES NOT LIE WITHIN A CRITICAL RESOURCE AREA.
 - 3.) THE SAFE MUST BE NOTIFIED PRIOR TO CONSTRUCTION
 - 4.) UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND BASED ON RECORD INFORMATION.
 - 5.) THIS IS NOT A CLASS 1 SURVEY

Zoning Data - Zone R-40

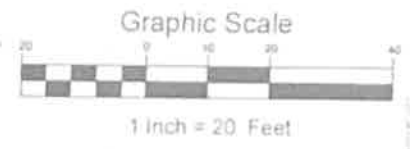
	REQUIRED	EXISTING
MINIMUM LOT AREA	40,000 SF	27,824 SF
MINIMUM LOT WIDTH	150'	100'
MINIMUM FRONT SETBACK	40'	13.2'
MINIMUM SIDE SETBACK	25'	13.2'
MINIMUM REAR SETBACK	30'	13.2'
MAXIMUM LOT COVERAGE	25%	42%

*EXISTING NON-COMFORMING CONDITION

Design Data

4 BEDROOM DWELLING @ 15 GAL/PERSON-DAY @ 2.5 GAL/ISS @ 450 GAL/DAY @ 1.2 GAL/100 DAY @ 242.7 GPD REQUIRED
75 LF SEWER REQUIRED @ 2.25 SPI @ 24.25 GPD/INCH
80 DRIVES / LINE JOUST AT 2.0718 GAL/1000 GPD @ 1.62 GAL
88 LF 3" I-P MANHOLE LINE @ 2.22 GAL
TOTAL FLOWER PIP 15,25 GAL

NOTE: SEE SHEET 2 FOR SYSTEM INVERTS



O.W.T.S. Site Plan

Prepared For:
Mell & Avery Arnold
29 Bayberry Road
Jamestown, Rhode Island 02831

Property Location:
29 Bayberry Road
Map 12 Lot 61
Jamestown, Rhode Island

Job No. ---
Date 11-15-2018
DRAWN BY: C.A.C.
CHECKED BY: N.C.A.G.
SCALE: 1" = 20'
SHEET # 1 of 4

LEGEND

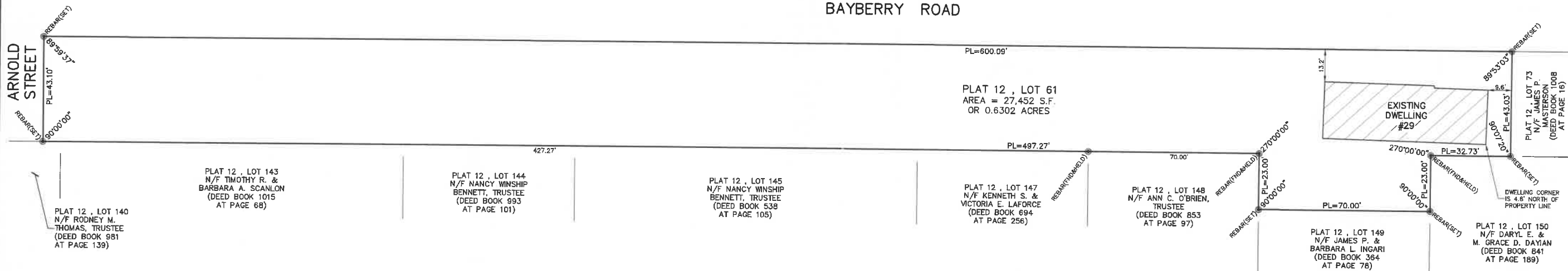
PL PROPERTY LINE
 FND FOUND
 N/F NOW OR FORMERLY
 S.F. SQUARE FEET



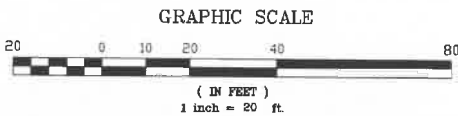
NOTES:

1. THE PARCEL IS PLAT 12, LOT 61.
2. THE TOTAL PARCEL AREA IS 27,452 S.F. OR 0.6302 ACRES.
3. THE EXISTING DWELLING ADDRESS IS 29 BAYBERRY ROAD.
4. SEE DEED BOOK 912 AT PAGE 118 FOR TITLE REFERENCE.
5. THE EXISTING LOT COVERAGE IS 5.6%.

BAYBERRY ROAD

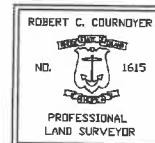


ZONING INFORMATION:
 THE PARCEL IS ZONED: R-40
 (USE R-20 SETBACKS FOR UNDERSIZED LOTS)
 MINIMUM LOT AREA = 20,000 S.F.
 MINIMUM LOT WIDTH = 100 FEET
 MINIMUM BUILDING SETBACKS:
 FRONT YARD (PRINCIPAL) = 30 FEET
 FRONT YARD (SECONDARY) = 15 FEET
 SIDE YARD = 10 FEET
 REAR YARD = 30 FEET
 MAXIMUM LOT COVERAGE = 25%
 MAXIMUM BUILDING HEIGHT = 35 FEET



PLAN REFERENCE:

1. PLAN ENTITLED "NARRAGANSETT SHORES, JAMESTOWN, R.I., OWNED BY JAMES O. TAYLOR AND ANTHONY C. PAOLINO, MAY 1930, C.A. THAYER, ENGR," WHICH PLAN IS RECORDED IN THE TOWN OF JAMESTOWN REGISTRY OF DEEDS AT HPF252A.



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY
 MEASUREMENT SPECIFICATION: CLASS I
 CLASS III

STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 1) PREPARE AN EXISTING CONDITIONS PLAN.

BY: ROBERT C. COURNOYER, PLS#1615
 PRESIDENT, R.C. COURNOYER ENTERPRISES, INC.
 DATE COA #A51

RC COURNOYER ENTERPRISES, INC.
 P.O. BOX 176
 JAMESTOWN, R.I. 02835
 PHONE 401-439-8029

EXISTING CONDITIONS PLAN FOR
MATTHEW R. & ASHLEY M. AMSDEN
 PLAT 12, LOT 61
 29 BAYBERRY ROAD
 JAMESTOWN, RHODE ISLAND

PROJECT NO: BAYBERRY	SCALE: 1" = 20'
SHEET NO: 1 OF 1	DRAWN BY: R.C.C.
	DATE: SEPT. 13, 2022



200 foot Abutters List Report

Jamestown, RI
February 21, 2023

Subject Property:

Parcel Number: 12-61
CAMA Number: 12-61
Property Address: 29 BAYBERRY ROAD

Mailing Address: AMSDEN MATTHEW R & ASHLEY M TE
29 BAYBERRY ROAD
JAMESTOWN, RI 02835

Abutters:

Parcel Number: 12-133
CAMA Number: 12-133
Property Address: 6 ARNOLD STREET

Mailing Address: REILLY SHAUN P
612 SMITHFIELD RD #B
NORTH PROVIDENCE, RI 02904-2942

Parcel Number: 12-134
CAMA Number: 12-134
Property Address: 2 ARNOLD STREET

Mailing Address: ARNOLD LLC C/O D MCCOMBS
5109 BOSS CT SE
SOUTHPORT, NC 28461-7417

Parcel Number: 12-140
CAMA Number: 12-140
Property Address: ARNOLD STREET

Mailing Address: THOMAS RODNEY M TRUSTEE
57 WHALE ROCK RD
JAMESTOWN, RI 02835

Parcel Number: 12-141
CAMA Number: 12-141
Property Address: 60 BONNET VIEW DRIVE

Mailing Address: STOUKIDES JOHN A & CHERYL A TE
515 PINE STREET
SEEKONK, MA 02771

Parcel Number: 12-143
CAMA Number: 12-143
Property Address: 52 BONNET VIEW DRIVE

Mailing Address: SCANLON TIMOTHY R TRUSTEE
SCANLON BARBARA A TRUSTEE
52 BONNET VIEW DRIVE
JAMESTOWN, RI 02835

Parcel Number: 12-144
CAMA Number: 12-144
Property Address: 50 BONNET VIEW DRIVE

Mailing Address: BENNETT NANCY WINSHIP TRUSTEE
48 BONNET VIEW DRIVE
JAMESTOWN, RI 02835

Parcel Number: 12-145
CAMA Number: 12-145
Property Address: 48 BONNET VIEW DRIVE

Mailing Address: BENNETT NANCY WINSHIP TRUSTEE
48 BONNET VIEW DRIVE
JAMESTOWN, RI 02835

Parcel Number: 12-147
CAMA Number: 12-147
Property Address: 44 BONNET VIEW DRIVE

Mailing Address: LAFORCE KENNETH S ET VICTORIA E
348 LARCHWOOD DRIVE
WARWICK, RI 02886

Parcel Number: 12-148
CAMA Number: 12-148
Property Address: 40 BONNET VIEW DRIVE

Mailing Address: OBRIEN ANN C TRUSTEE
747 MEADOW GLEN DRIVE
BOULDER, CO 80303

Parcel Number: 12-149
CAMA Number: 12-149
Property Address: 36 BONNET VIEW DRIVE

Mailing Address: INGARI JAMES P ET INGARI BARBARA L
36 BONNET VIEW DRIVE
JAMESTOWN, RI 02835



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200 foot Abutters List Report

Jamestown, RI
February 21, 2023

Parcel Number: 12-150 CAMA Number: 12-150 Property Address: 32 BONNET VIEW DRIVE	Mailing Address: DAYIAN DARYL E & M GRACE D 32 BONNET VIEW DRIVE JAMESTOWN, RI 02835
Parcel Number: 12-151 CAMA Number: 12-151 Property Address: 30 BONNET VIEW DRIVE	Mailing Address: KERR JOHN R & WARD-KERR VICTORIA 30 BONNET VIEW DRIVE JAMESTOWN, RI 02835
Parcel Number: 12-187 CAMA Number: 12-187 Property Address: 26 WHALE ROCK ROAD	Mailing Address: CURTIS PETER A & JUDITH A 26 WHALE ROCK ROAD JAMESTOWN, RI 02835
Parcel Number: 12-188 CAMA Number: 12-188 Property Address: 28 WHALE ROCK ROAD	Mailing Address: GOWELL JOHN R JR ET GOWELL ELIZABETH T 28 WHALE ROCK ROAD JAMESTOWN, RI 02835
Parcel Number: 12-189 CAMA Number: 12-189 Property Address: 34 WHALE ROCK ROAD	Mailing Address: MAXFIELD SYLVIA TRUSTEE 175 COMMONWEALTH AVE APT C BOSTON, MA 02116-2215
Parcel Number: 12-190 CAMA Number: 12-190 Property Address: WHALE ROCK ROAD	Mailing Address: BOYER BRIAN D TRUSTEE 905 HAWTHORNE LANE NORTHBROOK, IL 60062
Parcel Number: 12-192 CAMA Number: 12-192 Property Address: 63 WHALE ROCK ROAD	Mailing Address: GREEN ANDREW R ET GREEN JESSICA L TE 63 WHALE ROCK ROAD JAMESTOWN, RI 02835
Parcel Number: 12-43 CAMA Number: 12-43 Property Address: 360 BEAVERTAIL ROAD	Mailing Address: SKINNER WILLIAM P ET SKINNER KAREN K TRUSTEES 5903 SKYLINE HEIGHTS COURT ALEXANDRIA, VA 22311
Parcel Number: 12-52 CAMA Number: 12-52 Property Address: 354 BEAVERTAIL ROAD	Mailing Address: ROSS STEVEN A & KRISTI H TE 354 BEAVERTAIL ROAD JAMESTOWN, RI 02835
Parcel Number: 12-57 CAMA Number: 12-57 Property Address: 8 ARNOLD STREET	Mailing Address: THOMAS RODNEY M TRUSTEE 57 WHALE ROCK RD JAMESTOWN, RI 02835
Parcel Number: 12-59 CAMA Number: 12-59 Property Address: 22 BAYBERRY ROAD	Mailing Address: CAPOBIANCO LYDIA M (LE) 22 BAYBERRY ROAD JAMESTOWN, RI 02835
Parcel Number: 12-60 CAMA Number: 12-60 Property Address: 36-38 BAYBERRY ROAD	Mailing Address: 36-38 BAYBERRY LLC C/O JULIE BERRY 85 HOYT AVENUE RUMFORD, RI 02916



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200 foot Abutters List Report

Jamestown, RI
February 21, 2023

Parcel Number: 12-63
CAMA Number: 12-63
Property Address: 28 BAYBERRY ROAD

Mailing Address: FINKELMAN ALEX S ET AL FINKELMAN
DENISE CASSISI TE
28 BAYBERRY ROAD
JAMESTOWN, RI 02835

Parcel Number: 12-68
CAMA Number: 12-68
Property Address: BAYBERRY ROAD

Mailing Address: BERRY JULIE T
85 HOYT AVENUE
RUMFORD, RI 02916-2519

Parcel Number: 12-69
CAMA Number: 12-69
Property Address: 32 BAYBERRY ROAD

Mailing Address: PALMIERI VIVIAN J MARITAL TRUST C/O
JOHN A MURPHY TRUSTEE
77 NARRAGANSETT AVENUE
JAMESTOWN, RI 02835

Parcel Number: 12-71
CAMA Number: 12-71
Property Address: 40 BAYBERRY ROAD

Mailing Address: 40 BAYBERRY LLC C/O JULIE BERRY
85 HOYT AVENUE
RUMFORD, RI 02916

Parcel Number: 12-73
CAMA Number: 12-73
Property Address: 27 BAYBERRY ROAD

Mailing Address: MASTERSON, JAMES P
14 LAFAYETTE PLACE
CHATHAM, NJ 07928



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