

TOWN OF JAMESTOWN
ZONING BOARD OF REVIEW

Application for Exception or Variation under the Zoning Ordinance

Zoning Board of Review;

Jamestown, R. I.

Date 10/21/2021

Gentlemen:

The undersigned hereby applies to the Zoning Board of Review for an exception or a variation in the application of the provisions or regulations of the zoning ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Applicant WE DIY INVESTMENTS LLC Address 23 BUSINESS PARK DRIVE, SMITHFIELD, RI

Owner WE DIY INVESTMENTS LLC Address 23 BUSINESS PARK DRIVE, SMITHFIELD, RI

Lessee x Address x

1. Location of premises: No. 29 NARRAGANSETT AVENUE Street
2. Assessor's Plat 9 Lot 631
3. Dimensions of lot: frontage 89 ft. depth 110-115 ft. Area 10,258 sq. ft.
4. Zoning Districts in which premises are located: Use CD Area 10,000 SF Height 35''
5. How long have you owned above premises? PURCHASED JULY 2020
6. Is there a building on the premises at present? NO
7. Size of existing building x
Size of proposed building or alteration 11,333 SF
8. Distance of proposed bldg. or alteration from lot lines:
front 7.66 rear 46 FEET left side 0 right side (WEST) 2 FEET
9. Present use of premises: ABANDONED COMMERCIAL
10. Proposed use of premises: MULTI-FAMILY / MIXED USE
Location of septic tank & well on lot N/A

11. Give extent of proposed alterations 3 FLOOR MIXED USE MULTI-FAMILY & COMMERCIAL STRUCTURE

12. Number of families for which building is to be arranged: 3

13. Have you submitted plans for above to Inspector of Buildings? Yes

Has the Inspector of Buildings refused a permit? NO

14. Provision or regulation of Zoning Ordinance or State Enabling Act under which application for exception or variance is made:

ARTICLE 3, SECTION 82-302 TABLE 3-2 AND
ARTICLE 6, SECTIONS 82-600, 605, 606, 607

15. State the grounds for exception or variation in this case:

PLEASE SEE ATTACHED DOCUMENT

Respectfully Submitted,

Enrico DiGregorio

Signature

Enrico DiGregorio

Address

23 BUSINESS PARK DRIVE

SMITHFIELD, RI 02917

Telephone No.

(401) 232-1400

NOTE: A LOCATION PLAN AND SKETCH AND DRAWINGS NECESSARY TO GIVE FULL INFORMATION MUST BE FILED WITH THE APPLICATION.

15. The Applicant proposes the construction of a three-story mixed use building on the subject Property, which was recently acquired. The building will house three commercial units on the first level and three residential units on the upper two levels. Overall, the building has been designed to limit the dimensional relief necessary to the furthest degree and to comport with the area. To implement the Project, the Applicant seeks the ability to construct the building having three-stories, or one additional story beyond what is permitted. Also, to exceed the 35 foot height limitation, by permitting the building's height at 40.91 feet. Lastly, given that the Property's area does not meet the current minimum requirement of 20,000 square feet, the Applicant seeks a variance from that standard.

The grant of the variances requested, one being an existing nonconformity, will result in the construction of the building that will enhance, rather than detract, the characteristics of the neighborhood. In sum, the relief sought is the least necessary and not attaining the variances would be more than a mere inconvenience to the Applicant.

SAMPLE ZONING ADVERTISEMENT
MUST BE FILLED OUT BY THE APPLICANT

Application of WE DIG INVESTMENTS, LLC whose

property is located at 29 NARRAGANSETT AVENUE, and further

identified as Tax Assessor's Plat 9, Lot 631 for a Variance/~~XXXXXXXXXX~~

from Article 3, Section 82-302, ARTICLE 6 SECTION 82-600, 605

606, 607 (height variance, SF variance, 3 stories variance)

to BUILD A MIXED USE, RETAIL & MULTI-FAMILY

STRUCTURE; 3 STORIES WHERE 2 MAX IS ALLOWED;

40.91^{ft} FROM GRADE, 35^{ft} ALLOWED; AND 10,258^{SF} LOT WHERE 20,000

Said property is located in a CD zone and contains 10,258 ~~sq~~/square feet. IS REQUIRED

.....
HOW TO WRITE YOUR AD:

Name of owner must be advertised exactly as it appears on the most recent deed for the property. If the applicant's name differs from the owner, the ad must read: "Application of John R. Smith et ux Mary, (Jane L. Doe, owner), whose property...etc." The exact street address must be included in the advertisement, as well as the Tax Assessor's Plat and Lot numbers. Cross out "Variance" or "Special Use Permit" if one does not apply to what you are seeking. List the exact Article(s) and Section(s) numbers from the Zoning Ordinance from which you are seeking relief, followed by the title of the section as it appears in the Ordinance. Then briefly describe what you wish to do: "to construct a tool shed five feet from the side lot line instead of the required ten feet". List what zone your property is in: R8, R20, R40, RR80, RR200, CL, CD, CW or OS. Finally, enter the total acreage or square footage of your lot, crossing out the term that does not apply: acres or square feet.



PLANNING COMMISSION MEMORANDUM

TO: Zoning Board of Review
FROM: Michael Swistak, Chair and
The Jamestown Planning Commission
RE: We Dig Investments, 29 Narragansett Avenue
DATE: October 22, 2021

At the October 20, 2021 Planning Commission meeting, the Commission made two votes as follows:

- 1) To Grant conditional Development Plan approval and recommend to the Zoning Board of Review approval of the application of We Dig Investments, at 29 Narragansett Avenue to build a 6-unit multi-family structure (which includes 3 residential and 3 commercial units), including the request for a Special Use Permit based on the following findings and subject to the following conditions of approval.

All in Favor. Motion carries.

- 2) To Grant conditional Development Plan approval and recommend to the Zoning Board of Review approval of the application of We Dig Investments, at 29 Narragansett Avenue to build a 6-unit multi-family structure (which includes 3 residential and 3 commercial units), including the request for 3 variances from the standards of the Zoning Ordinance based on the following findings and subject to the following conditions of approval.
 - Variance for Lot Size, 10,254 square feet, where 20,000 square feet are required
 - Variance for 3 story building where 2 stories max are permitted per Zoning Ordinance Table 3-2
 - Variance for Building Height, 35 feet permitted, 40 feet 10 inches proposed

Six members in favor, one opposed. Motion carries.

Findings of Fact

1. The Town Planner met with the applicant in November 2020 to discuss concepts for the site at 29 Narragansett Avenue including the Jamestown Pattern Book and Design Guidelines and the 2008 special area study of 29 and 35 Narragansett Avenue;
2. The applicant's Architect, Ivy Design delivered a 69 page design study on December 10, 2021;
3. The Town Planner met with and provided comments to the applicant's development team;

4. The Public Works Director and the Town Planner met with the applicant team and their Engineer by phone on March 25, 2021 to discuss site considerations;
5. The applicant submitted an incomplete application dated 4/27/21 and additional information was subsequently submitted with a new application on 5/27/21;
6. The TRC reviewed this application on May 19, 2021, and May 25, 2021. The original versions of the building design generated major concerns with regards to the scale and context with the surrounding structures. The TRC encouraged the applicant to increase the height of the building slightly to allow for architectural features which would visually reduce the scale and mass of the building. The TRC agreed that a slight height variance would allow for a final design which yields the appearance of a two-story building even though there is significant livable area on the third floor.
7. The Planning Commission reviewed this application on June 2, 2021 and June 16, 2021;
8. The Planning Commission authorized the Town Planner, Lisa Bryer to initiate the Peer Review Process at the June 16, 2021 meeting per Zoning Ordinance 82, 410, *Project Review Fees*;
9. The Town Planner held two meetings with Donald Powers, Architect, Union Studios;
10. The Applicant submitted plans dated 4/14/2021, 6/9/2021, 7/30/2021 and 9/17/2021;
11. There were multiple discussion points and issues discussed at the meetings listed above but the primary discussion point at all meetings is the proposed new buildings' stature, placement and design on Narragansett Avenue;
12. The Planning Commission received the detailed architectural graphics and comments from Donald Powers dated August 24 and September 30, 2021;
13. Architect Donald Powers noted in his September 30, 2021 correspondence that the "...actual detailing of the building will be very important to the design's appropriateness and success in this location, we recommend that review and approval of those exterior details be a condition of final approval and construction permits";
14. On October 6th and 20th, the applicant presented final plans to the Planning Commission. The applicant was represented by Attorney John Mancini and Principal Architect Junko Yamamoto;
15. The proposed multi-family structure is permitted by Special Use Permit with 20,000 square feet;
16. The Lot proposed for development is 10,254 square feet where 20,000 square feet are required for a multi-family structure;

17. The Village Special Development District permits 2 stories maximum, where the net floor area of the third floor (attic) of a structure should not exceed 75 percent of the area of the ground floor. Due to the vaulted second floor ceiling into the third-floor area, the third-floor net area is 75 percent of the ground floor but the third-floor volume proposed is 100 percent of the ground floor area;
18. The building height in the CD district and throughout the island is 35 feet. The proposed structure is 40'-10" at the center peak where the base roofline is 37'-7.5";
19. The applicant's attorney testified that the height variance was needed to improve the success of the project;
20. The Town of Jamestown has made several statements over the last decade regarding building height on the island. First, during the Village Charrette process it was discussed whether a small but specific zone should be permitted at the four corners in order allow greater density and height (of one additional story). This was discussed at length and not adopted for reasons of uniformity of maximum height throughout the island of 35 feet. In addition, last October 2020, the Planning Commission amended the definition of building height to ensure that all buildings within the special flood hazard areas would comply with the maximum 35-foot building height in Jamestown and not be permitted to increase based on base flood elevation. It was at this time "how to calculate average grade" was amended and this can be found at https://library.municode.com/ri/jamestown/codes/code_of_ordinances
21. A municipal sewer line which services the dwelling at 7 Green Lane cuts across the south-east corner of the applicant's property.
22. Town Consulting Architect, Don Powers noted that while the current drawings presented for approval suggest appropriate traditional materials and patterns, they contain limited specific detail. To ensure the final selection of materials matches the design presentation, the Planning Commission agreed that Don Powers would remain engaged throughout construction to review the materials selected. The applicant had no objection to this requirement.
23. The applicant indicated that they do not intend to Short Term Rent the residential units. The Planning Commission accepted that commitment;
24. The applicant confirmed that and drainage to Green Lane and Narragansett Avenue will be mitigated to prevent pooling of water or icy conditions especially on the west side of the building where the setback to the retaining wall is narrow.

Conditions

1. This approval is for a multi-family structure containing 3 residential units and 3 ground floor commercial units;
2. Prior to Final Development Plan Approval, the applicant shall receive Zoning Board of Review approval for the following:

- a. Special Use Permit for Multi-Family Structure per Zoning Ordinance 82-301
 - b. Variance for Lot Size, 10,254 square feet, where 20,000 square feet are required
 - c. Variance for 3 story building where 2 stories max are permitted per Zoning Ordinance Table 3-2
 - d. Variance for Building Height, 35 feet permitted, 40 feet 10 inches proposed
3. The Town's consulting Architect, Donald Powers shall be responsible for review and approval of the exterior building detailing and materials prior to approval of the construction documents by the Building Official. Any discrepancy or disagreement shall be reviewed by the Planning Commission. This shall be paid for by a fee to be determined by the Town Planner per 82-410. This fee shall be paid for at the time of the building permit;
 4. The site will be developed in strict adherence with the plans as approved by the Planning Commission and the Zoning Board of Review:

Plans by Junko Yamamoto Architect:

- a. Mixed Use Development Cover Sheet undated (NOT updated regarding height and parking).
- b. North Elevation – No Date
- c. South Elevation – No Date
- d. East Elevation – No Date
- e. West Elevation – No Date
- f. A1.0 Site Plan dated 10/7/21
- g. Site Lighting Plan dated 10/7/21
- h. A 1.1 First Floor Plan dated 10/1/21
- i. A 1.2 Second Floor Plan dated 10/1/21
- j. A 1.3 Third Floor Plan dated 10/1/21
- k. A 1.4 Roof Plan dated 10/1/21
- l. A2.0 Exterior Elevations dated 10/7/21
- m. A 2.1 Exterior Elevations dated 10/7/21
- n. A 3.0 Building Sections dated 10/1/21
- o. A 3.1 Building Sections dated 10/1/21

Plan by Advanced Civil Design, Inc:

- p. Site Plan – Mixed Use Development dated revised 10/15/21 showing Emerald Green Arborvitae on the south side of the property
5. No structures shall be built over the underground pipes at the southeast corner of the property in the parking lot/buffer area servicing the neighbor at 6 Green Lane (two-family with 6 Green Lane, Plat 9 Lot 570);
 6. Town Consulting Architect Don Powers shall remain engaged to assist the Building Official with the building details to ensure compliance with the intent of the Planning Commission approval. Mr. Powers is engaged per Zoning Ordinance Section 410 – Project Review Fees. The fee for these ongoing services

shall be determined and paid by the applicant at the time of the building permit submission.

7. All Stormwater shall be in accordance with the Jamestown regulations and the State of RI Stormwater Manual and shall be mitigated to prevent pooling of water or icy conditions especially on the west side of the building where the setback to the retaining wall is narrow;
8. The applicant shall install new sidewalks and curbing along the Narragansett Avenue and Green Lane frontage to match the specifications (including of the existing Narragansett Avenue sidewalks to include the raised aggregate feature.
9. Landscape maintenance standards shall be developed by a registered landscape architect and submitted to the Planning Commission for review and approval at final approval. These maintenance standards shall be included in the Condominium documents.
10. Rental of the 3 residential units for less than 30 days shall be prohibited and this shall be included in the Condominium documents;
11. Approval of the Board of Water and Sewer Commissioners shall be received prior to Final Approval;
12. The Condominium Documents shall be reviewed and approved by the Planner and Solicitor prior to final approval and recording;
13. Final Development Plan approval shall be granted by the Planning Commission;

Attachments:

- 1) Plan set as listed above in condition #4

C: Jamestown Zoning Board of Review – by Memo
William Moore, Building Official
Michael Gray, Public Works Director

Mixed-Use Development

29 Narragansett Avenue

The proposed project involves the demolition of an existing Bank of America to its entirety and the construction of a new mixed-use building. The building will be a 10-story structure with a total floor area of approximately 150,000 square feet. The building will be located on the corner of Narragansett Avenue and State Street. The building will be 45 feet in height from the lowest point where the new building meets the original grade.



Owner:
DIGRECONO CORPORATION
23 Business Park Drive
Bristol, RI 02809
Tel: 401-232-5550

Architect:
Ishiyama Architects
400 W. Main Street
Providence, RI 02903
Tel: 401-999-7374

Design Consultant:
RVT Design Associates, LLC
100 W. Main Street, Suite 100
Providence, RI 02903
Tel: 401-722-0488

Structural Engineer:
Structures Engineering and Design, LLC
2 Charles St., Suite A-21
Providence, RI 02904
Tel: 401-315-4688

Code Consultant:
AKF
99 Bedford Street, 2nd Floor
Boston, MA 02111
Tel: 617-535-8941

Janetown Peer Review Process
Exterior Design Consultant:
Union Studio
140 Union St
Providence, RI 02903
Tel: 401-272-4724

APPLICABLE CODES & STANDARDS

- IRC: 2015 International Residential Code (IRC), 2015 Edition
- ISBC-3: Rhode Island State Plumbing Code (adopts and amends the International Plumbing Code (IPC), 2015 Edition)
- ISBC-4: Rhode Island State Mechanical Code (adopts and amends the International Mechanical Code (IMC), 2015 Edition)
- ISBC-5: Rhode Island State Electrical Code (adopts and amends NFPA 70 National Electrical Code, 2017 Edition)
- ISBC-6: State Property Maintenance Code (adopts and amends the International Property Maintenance Code (IPMC), 2015 Edition)
- ISBC-7: Rhode Island State Energy Conservation Code (adopts and amends the International Energy Conservation Code (IECC), 2015 Edition)
- ISBC-8: Enforcement and Implementation Procedure for Projects under Jurisdiction of State Code
- ISBC-17: Rhode Island Public Meetings Accessibility Standard Code (adopts the Uniform Federal Accessibility Standards, as published in the Federal Register)
- ISBC-19: Rhode Island State Fuel Gas Code (adopts and amends the International Fuel Gas Code (IFGC), 2015 Edition)
- ISBC-21: Rhode Island State Rehabilitation Building and Fire Code for Existing Buildings and Structures
- 45B: Rhode Island Fire Safety Code (RFSC) (adopts and amends NFPA Fire Code, 2015 Edition)
- 45B: RFSC-01:01-01: Rhode Island Life Safety Code (RLSC) (adopts and amends NFPA Life Safety Code, 2015 Edition)
- 45B: RFSC-01:01-02: Rhode Island Fire Alarm Code (RIFAC) (adopts and amends NFPA National Fire Alarm and Signaling Code, 2015 Edition)
- 45B: RFSC-01:01-03: Rhode Island Fire Code for Existing Buildings
- Americans with Disabilities Act (ADA), 2010 Standards for Accessible Design (only applicable to the retail space, not the residential space)
- ICC/ANSI A117.1: American National Standard for Accessible and Usable Buildings and Facilities, 2009 Edition
- 260: RI-CES-30-1: Rhode Island Elevator Safety Code (adopts and amends the American Society of Mechanical Engineers (ASME) A17.1 Safety Code for Elevators and Escalators, 2016 Edition)
- Janetown, RI Code of Ordinances

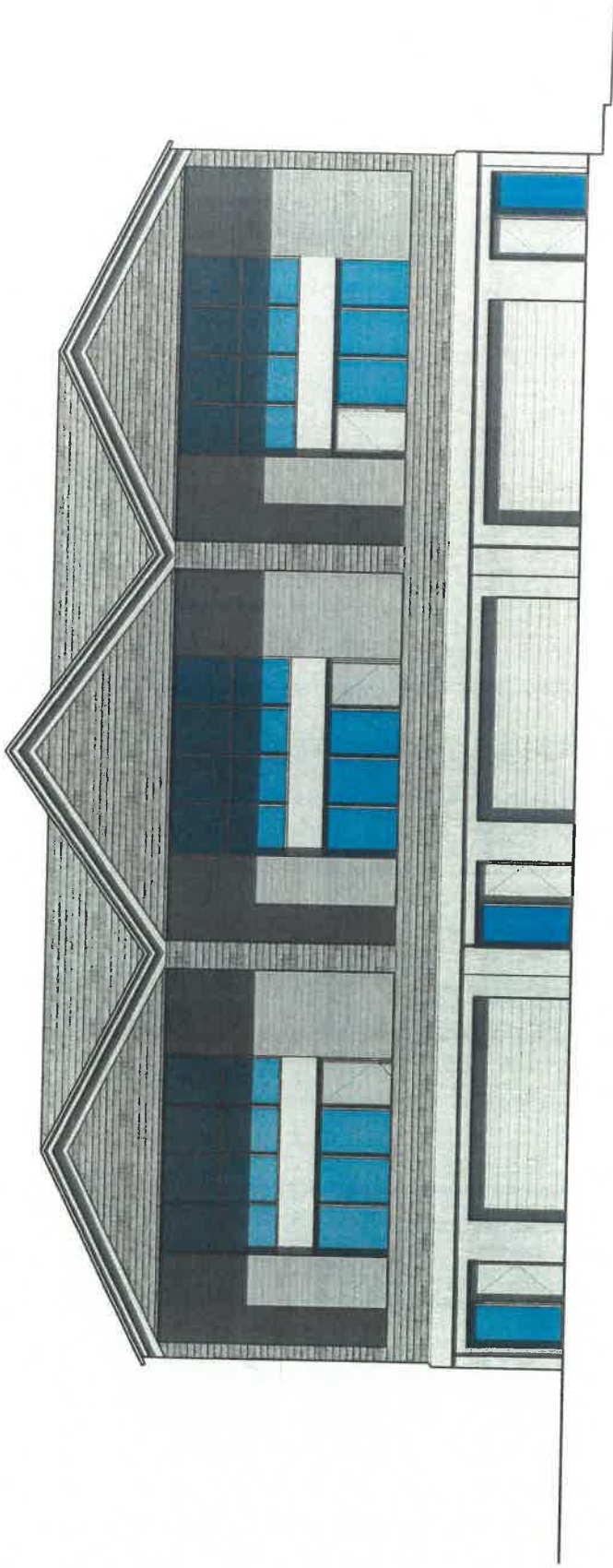
ZONING CODE LIMITATIONS:

The property is located in the Commercial Downtown (CD) district.

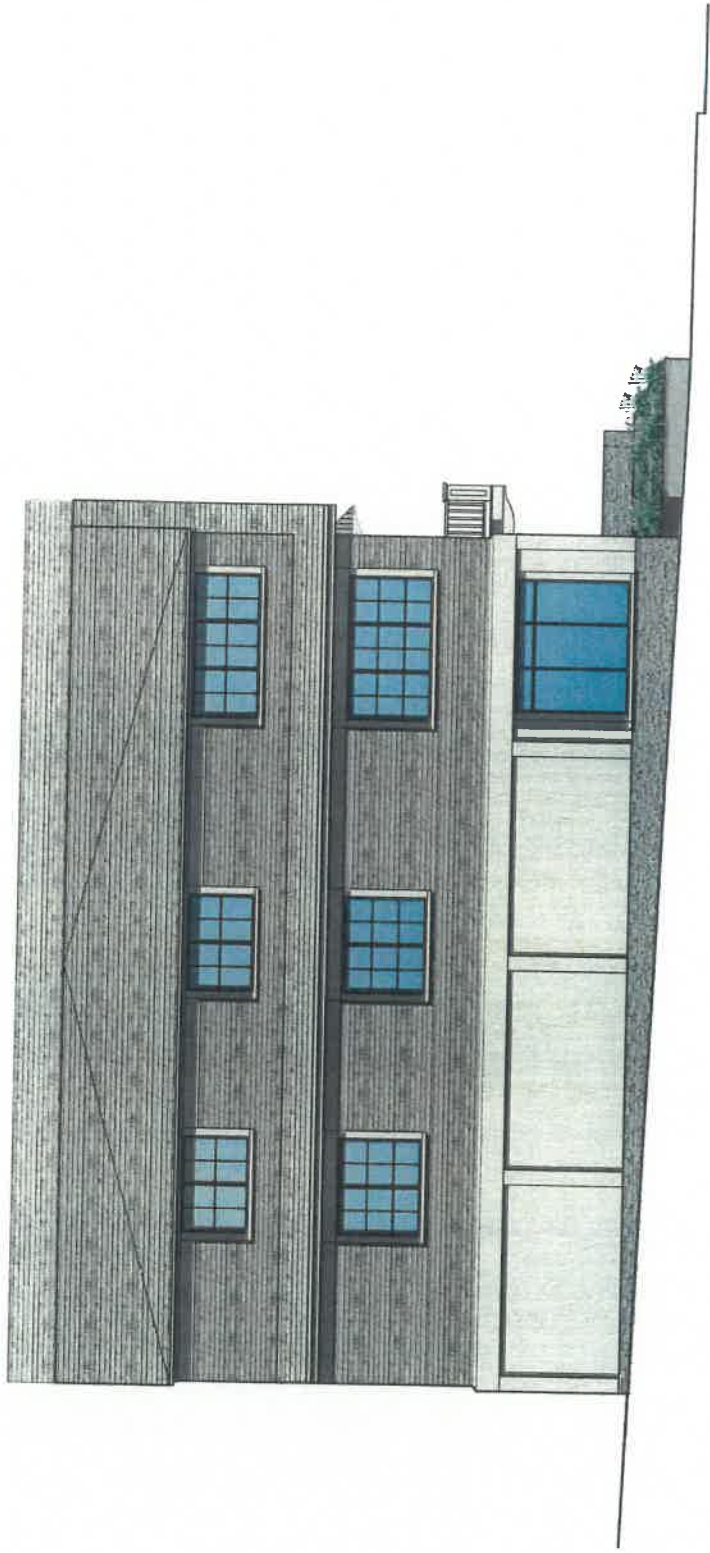
Property Address	Permitted Use	Height	Area	Other
2901 E. Main Street	RI-15.5P	10	10,000	
100 North Main Street	RI-15.5P	10	10,000	
100 South Main Street	RI-15.5P	10	10,000	
100 West Main Street	RI-15.5P	10	10,000	
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100 South Main Street	RI-15.5P	10	10,000	
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100 East Main Street	RI-15.5P	10	10,000	
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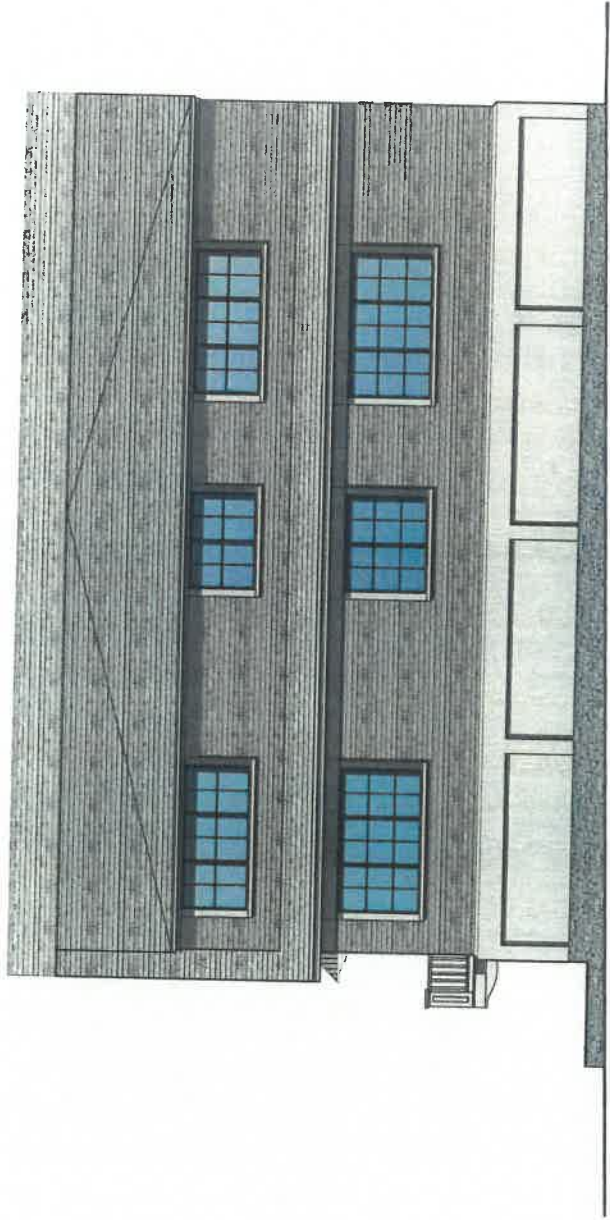
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

**JUNIKO YAMAMOTO
ARCHITECT**

ARCHITECT
Juniko Yamamoto, Architect
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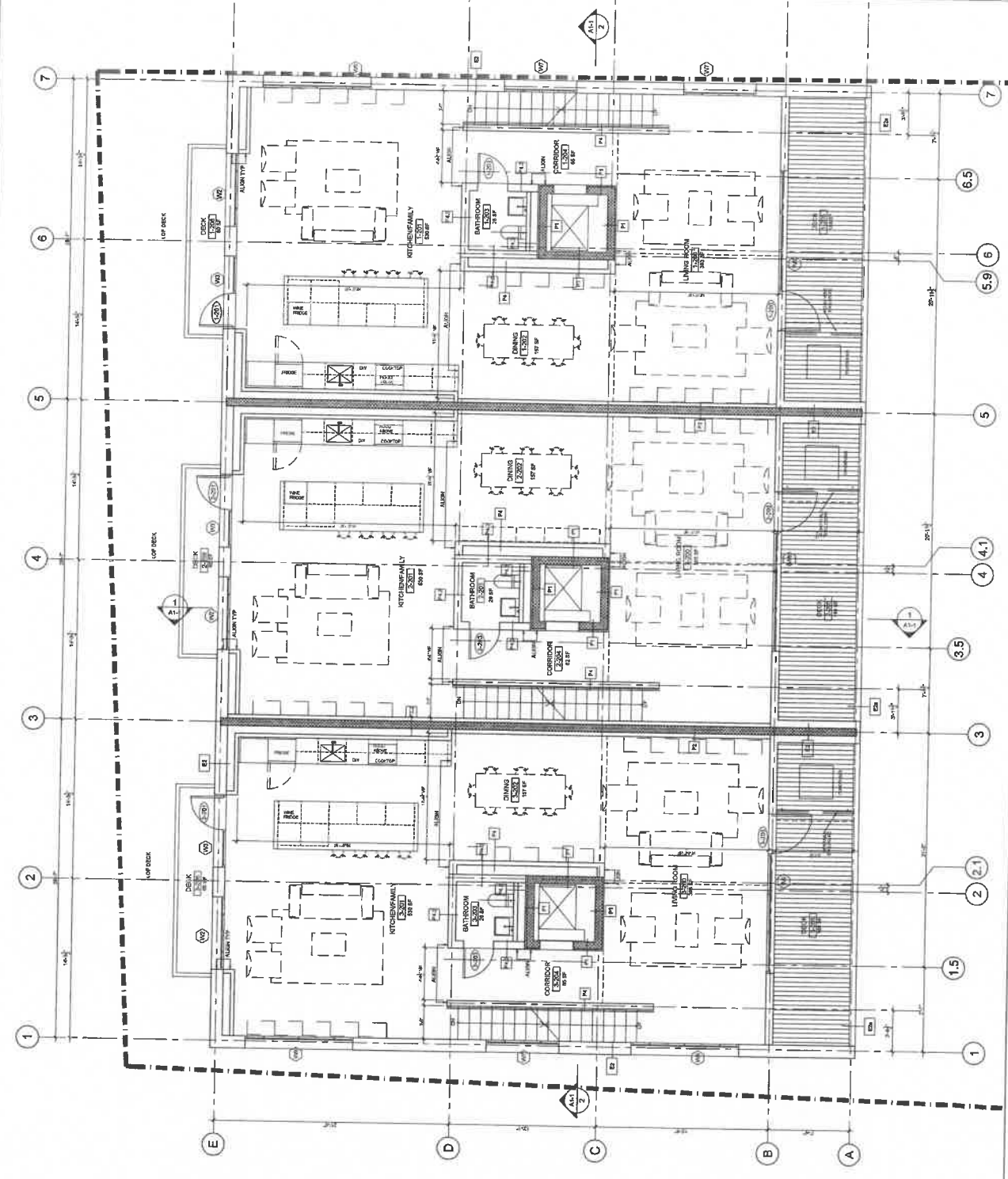
AVY Design Associates, LLC
1000 Massachusetts Ave.
Cambridge, MA 02139
Tel: 617-452-0774
Fax: 617-452-0774

GENERAL NOTES

1. DIMENSIONS TO LOCATE PARTITIONS SHALL BE TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE.
2. CONTRACT LIMIT LINES SHALL BE TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE.
3. ALL DOORS SHALL BE LOCATED IN THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE.
4. COORDINATE THE SIZE AND LOCATION OF ALL DOORS AND WINDOWS WITH THE ARCHITECT AND THE GENERAL CONTRACTOR. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE.
5. PROVIDE BEDDINGS FOR ALL ELECTRICAL EQUIPMENT AND WIRE TRAYS. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE. PARTITIONS TO BE FINISHED WITH Gypsum Board OR MINERAL WOOL INSULATION TO THE FINISHED FACE.

SYMBOLS

- PARTITION WALL TYPE
- EXTERIOR WALL TYPE
- DOOR TAG
- WINDOW TAG
- ROOM #
- CLOSET
- FIRE #
- NC



NOT FOR CONSTRUCTION

SECOND FLOOR PLAN
Date: 10/1/21
Scale: 3/8" = 1'-0"
A1.2

**JUNKO YAMAMOTO
ARCHITECT**

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Engineering Design Services, Inc.
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TEL: 401-846-1111

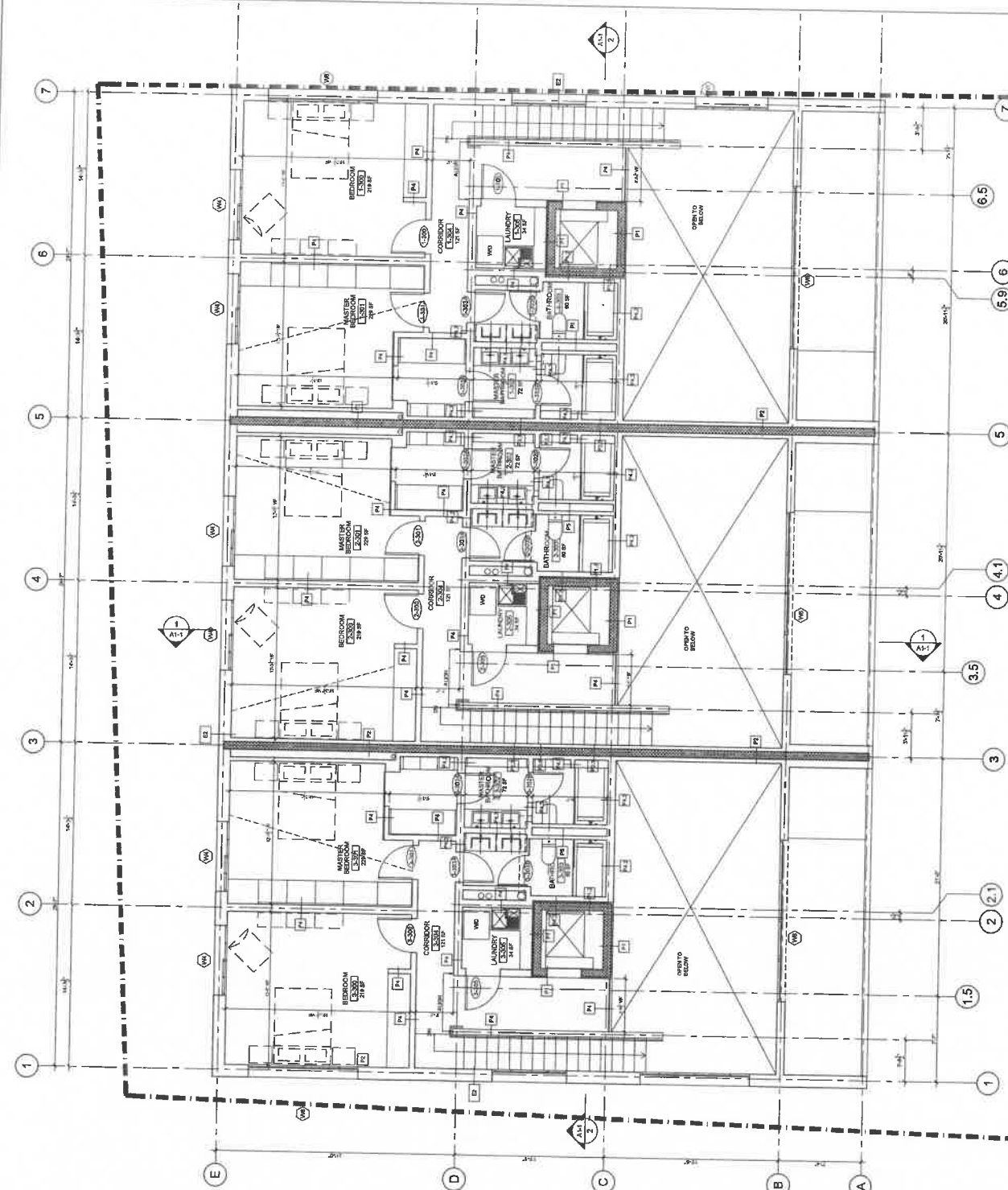
MECHANICAL/ELECTRICAL/PLUMBING ENGINEER
MEP Associates, Inc.
100 North Main Street, Suite 100
Rutland, VT 05701
TEL: 802-241-1234

GENERAL NOTES
1. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
3. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
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SYMBOLS
PARTITION WALL TYPE
EXTERIOR WALL TYPE
DOOR TAG
WINDOW TAG
CLOSET
ROOM #
FINISH
ND

SYMBOLS
PARTITION WALL TYPE
EXTERIOR WALL TYPE
DOOR TAG
WINDOW TAG
CLOSET
ROOM #
FINISH
ND



NOT FOR CONSTRUCTION

THIRD FLOOR PLAN
Date: 10/17/21
Scale: 3/4" = 1'-0"

A1.3

ARCHITECT
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Fax: 857-333-0122

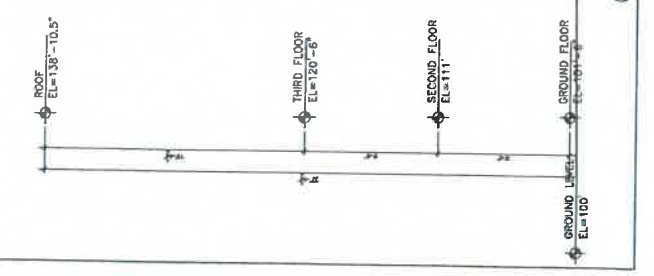
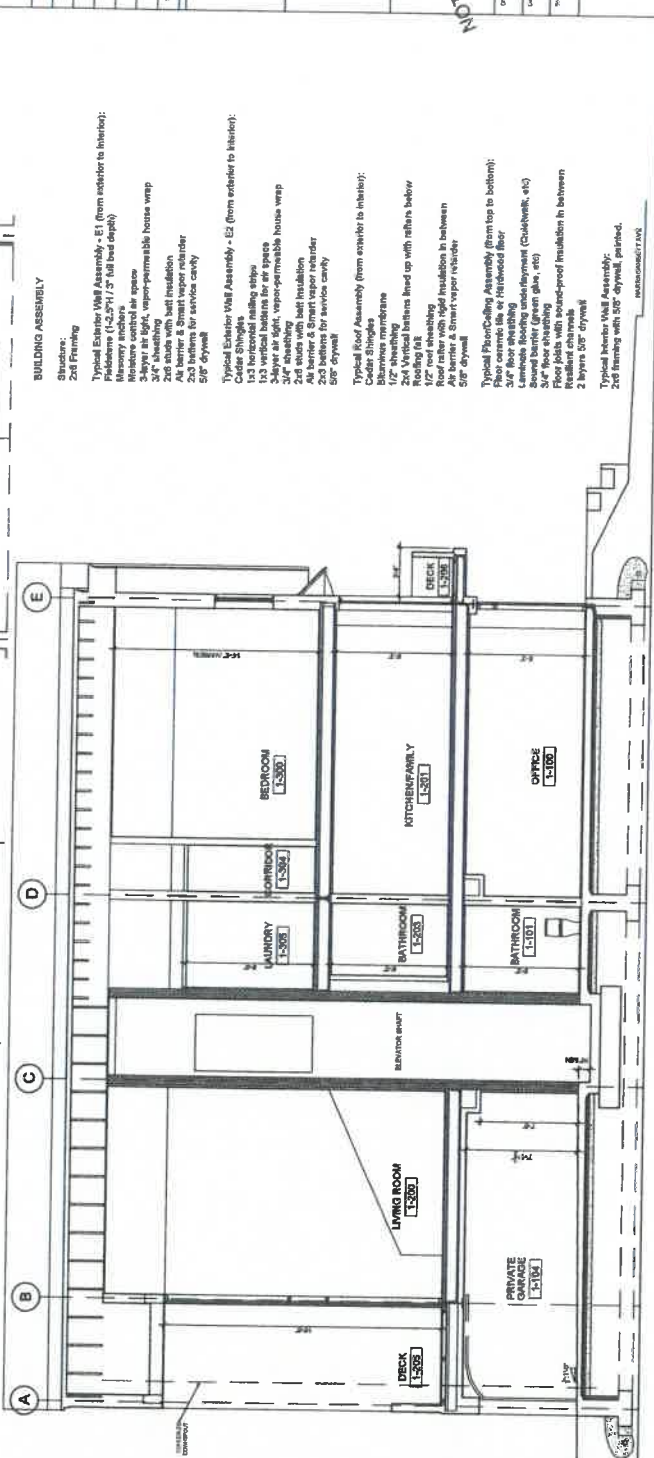
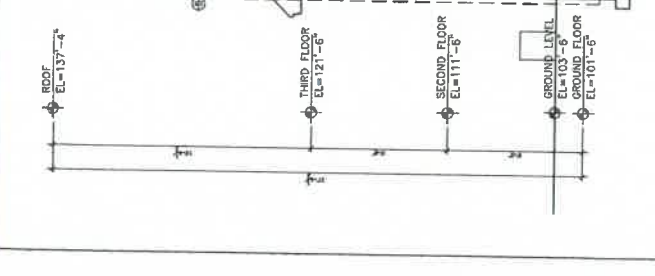
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Tel: 817-609-7374



BUILDING ASSEMBLY

Structure:
2x8 Framing
Typical Exterior Wall Assembly - E1 (from exterior to interior):
Hydrotec (1/2" x 1/2" full bead caulk)
Masonry anchors
Moisture control air space
2x8 studs with 2x8, vapor-permeable house wrap
2x8 studs with batt insulation
Air barrier & Smart vapor retarder
2x8 studs with 2x8
5/8" drywall

Typical Exterior Wall Assembly - E2 (from exterior to interior):
1x3 horizontal siding
1x3 vertical battens for air space
3/4" layer air tight, vapor-permeable house wrap
2x2 studs with batt insulation
Air barrier & Smart vapor retarder
2x2 studs for service cavity
5/8" drywall

Typical Roof Assembly (from exterior to interior):
Asph/Flt shingles
1/2" sheathing
2x4 Vertical battens lined up with rafters below
1/2" roof sheathing
Roof rafter with rigid insulation in between
Air barrier & Smart vapor retarder
5/8" drywall

Typical Floor/Ceiling Assembly (from top to bottom):
3/4" concrete tile or Hardwood floor
Laminated flooring underlayment (Cork/foam, etc)
Sound barrier (green glue, etc)
Acoustic ceiling
Floor joists with insul-proof insulation in between
Resilient channels
2 layers 5/8" drywall

Typical Interior Wall Assembly:
2x8 framing with 5/8" drywall, painted, unadorned/trim

NOT FOR CONSTRUCTION

BUILDING SECTIONS
10/1/21
1/4" = 1'-0"

Parcel ID: 8-164
LIEBHAUSER, MARIA R., MANAGER
 109 COLUMBIA LANE
 JAMESTOWN RI 02835

Parcel ID: 8-165
MUNAFO, DOMINIC P TRUSTEE
 1163 NORTH MAIN ROAD
 JAMESTOWN RI 02835

Parcel ID: 8-166
REGNUM LLC
 102 COLE STREET
 JAMESTOWN, RI 02835

Parcel ID: 8-339
DWARES, H MICHAEL & SANDRA S.
 56 HARGRAVES DRIVE
 PORTSMOUTH RI 02871

Parcel ID: 8-391
PERROTTI, JOHN J
 133 SEASIDE DRIVE
 JAMESTOWN RI 02835

Parcel ID: 8-427
HOLLISTER, STEPHEN & MARJORIE F.
 79 NARRAGANSETT AVENUE
 JAMESTOWN RI 02835

Parcel ID: 8-453
OKEMA PROPERTIES LLC
 16 WALCOTT AVENUE
 JAMESTOWN, RI 02835

Parcel ID: 8-460
MBM PROPERTIES JAMESTOWN LLC
 102 COLE STREET
 JAMESTOWN RI 02835

Parcel ID: 8-471
PERROTTI, JOHN J & BONNIE J
 133 SEASIDE DRIVE
 JAMESTOWN, RI 02835

Parcel ID: 8-472
HOOSIER LEGACY LLC
 33 STANDISH ROAD
 JAMESTOWN RI 02835

Parcel ID: 8-488-201
YATES, GREGORY A
 35 KNOWLES COURT UNIT 201
 JAMESTOWN RI 02835

Parcel ID: 8-488-202
BRAKENHOFF, NOEL H, TRUSTEE
 35 KNOWLES COURT UNIT 202
 JAMESTOWN RI 02835

Parcel ID: 8-488-203
KOONS, GARNER & CONNIE L.
 35 KNOWLES COURT, UNIT 203
 JAMESTOWN RI 02835-4815

Parcel ID: 8-488-104
MIHALY, EUGENE B. ET
MIHALY, STACEY B.
 35 KNOWLES COURT, UNIT 104
 JAMESTOWN RI 02835-4814

Parcel ID: 8-488-103
WRIGHT, MARY & ELLICOTT TE
 286 HIGHALND DRIVE
 JAMESTOWN RI 02835-2941

Parcel ID: 8-488-102
RASMUSSEN, SUSAN B TRUSTEE
 35 KNOWLES COURT UNIT 102
 JAMESTOWN RI 02835

Parcel ID: 8-488-302
GOLDEN, KAREN H & BRIAN M TE
 PO BOX 1388
 GREER SC 29652

Parcel ID: 8-488-101
KAISER, CATHERINE L TRUSTEE
 35 KNOWLES COURT UNIT 101
 JAMESTOWN RI 02835

Parcel ID: 8-488-B1
NA VENTURES, LLC
C/O COSMED GROUP, INC.
 28 NARRAGANSETT AVE. UNIT B-1
 JAMESTOWN RI 02835

Parcel ID: 8-488-B2
NA VENTURES, LLC
C/O COSMED GROUP, INC.
 28 NARRAGANSETT AVE UNIT B-1
 JAMESTOWN RI 02835

Parcel ID: 8-488

Parcel ID: 8-488-301
ROSE, LAURA LOVE ET
HALL, WILLIAM T JT
 35 KNOWLES COURT UNIT 301
 JAMESTOWN RI 02835

Parcel ID: 8-488-204
BABCOCK, HELNA K TRUSTEE
 35 KNOWLES COURT UNIT 204
 JAMESTOWN RI 02835

Parcel ID: 8-573
TOWN OF JAMESTOWN
 93 NARRAGANSETT AVENUE
 JAMESTOWN RI 02835

Parcel ID: 8-604
BARNES, DAVID T
 950 PECK LANE
 CHESHIRE CT 06410

Parcel ID: 9-211
BELL, VICTOR A & LYNN
 23 OCEAN AVENUE
 JAMESTOWN RI 02835

Parcel ID: 9-212-2
RAFFERTY JAMEST T TRUSTEE
RAFFERTY LISA M TRUSTEE
 PO BOX 138
 JAMESTOWN RI 02835

Parcel ID: 9-212-5
RAFFERTY JAMES T TRUSTEE
RAFFERTY LISA M TRUSTEE
 PO BOX 138
 JAMESTOWN RI 02835

Parcel ID: 9-212-4
RAFFERTY JAMES T TRUSTEE
RAFFERTY LISA M TRUSTEE
 PO BOX 138
 JAMESTOWN RI 02835

Parcel ID: 9-212

Parcel ID: 9-212-3
MUIR, ANN G ET
MUIR, DONALD M, TRUSTEES
PO BOX 2972
WOBURN MA 01888-1772

Parcel ID: 9-212-1
RAFFERTY JAMES T TRUSTEE
RAFFERTY LISA M TRUSTEE
PO BOX 138
JAMESTOWN RI 02835

Parcel ID: 9-213
ANDRES, FRANK ET
ANDRES, MAGDALENA M
13 CLINTON AVENUE
JAMESTOWN RI 02835

Parcel ID: 9-243
URSO, PHILIP J ET
DESLAURIERS, RENEE
16 GREEN LANE
JAMESTOWN RI 02835

Parcel ID: 9-244
STARR, JENNIFER N
12 GREEN LANE
JAMESTOWN RI 02835

Parcel ID: 9-246
NORTH MEADOW PROPERTIES LLC
C/O PAUL A ROBERTSON
109 CARR LANE
JAMESTOWN, RI 02835

Parcel ID: 9-247
CAMERON, DONNA WELK
22 UNION ST.
JAMESTOWN, RI 02835

Parcel ID: 9-249
BEAUDRY FLINT, LORI L
18 PEQUOT ROAD
SOUTHAMPTON MA 01073-9587

Parcel ID: 9-255
CONGREGATION OF THE SISTERS OF
ST. JOSEPH OF SPRINGFIELD
577 CAREW STREET
SPRINGFIELD MA 01104

Parcel ID: 9-256
DOLIMIER, BERTRAND C. ET UX
SANTAMOUR, LISE I.
459 MARYLEBORN ROAD
SEVERNA PARK MD 21146

Parcel ID: 9-257
CAMERON, DONNA W
22 UNION STREET
JAMESTOWN RI 02835

Parcel ID: 9-258
HERRMANN, RAYMOND A ET
HERRMANN, JANE S
87 WHITE BIRCH LANE
STAMFORD CT 06905-3127

Parcel ID: 9-260
DOTY, JOHN J. JR. ET
FRADE, NANCY L.
17 UNION STREET
JAMESTOWN RI 02835

Parcel ID: 9-568
DOLOS, GEORGE & EIRENE
90 FOLWER STREET
NORTH KINGSTOWN RI 02852

Parcel ID: 9-569
JOLEA LLC
107 INTREPID LANE
JAMESTOWN RI 02835

Parcel ID: 9-570
CAMERON, DONNA W
22 UNION STREET
JAMESTOWN RI 02835

Parcel ID: 9-605
ANDERSON, CAROL ET
SWISTAK, MARK, DEBORAH &
WILLIAM
CONANICUT ISLAND ASSOCIATES
JAMESTOWN, RI 02835

Parcel ID: 9-631
WE DIG INVESTMENTS LLC
23 BUSINESS PARK DRIVE
SMITHFIELD RI 02917

Parcel ID: 9-700
DRZAL, MICHAEL P & REBECCA B TE
14 UNION STREET
JAMESTOWN RI 02835

Parcel ID: 9-775
LDRE PROPERTIES, LLC
41 OCEAN ROAD
NARRAGANSETT RI 02882

Parcel ID: 9-867
EPI REAL ESTATE HOLDINGS, LLC
5 CLINTON AVENUE
JAMESTOWN RI 02835

APP.