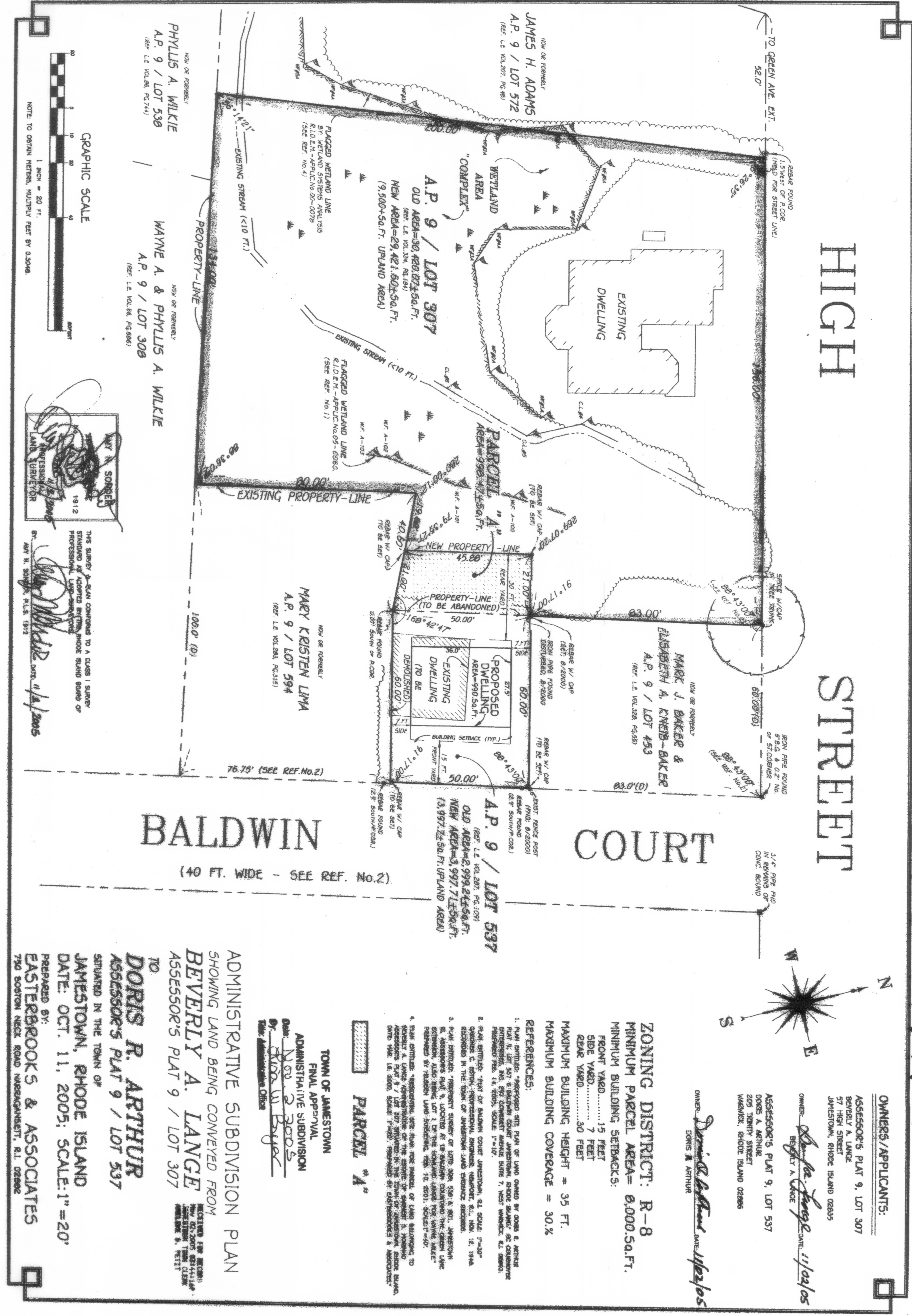


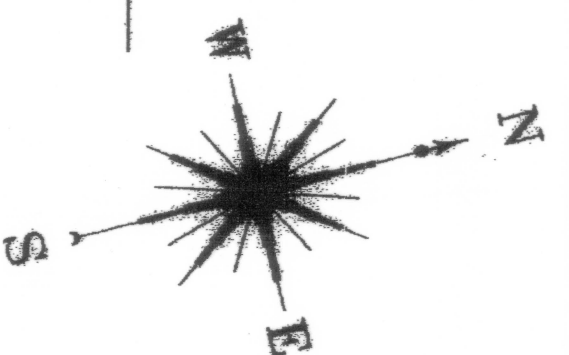
HPF 199 A

HPF #199 A



HIGH STREET

BALDWIN COURT  
(40 FT. WIDE - SEE REF. No.2)



**OWNERS/APPLICANTS:**  
 ASSESSOR'S PLAT 9, LOT 307  
 PHYLIS A. WILKIE  
 JAMES H. ADAMS  
 JAMES H. ADAMS  
 A.P. 9 / LOT 572  
 (REF. L.E. 101.207, P.2-81)

**ASSESSOR'S PLAT 9, LOT 537**  
 DORIS R. ARTHUR  
 DORIS A. KATHLE  
 205 TOWN STREET  
 WARRICK, RHODE ISLAND 02886

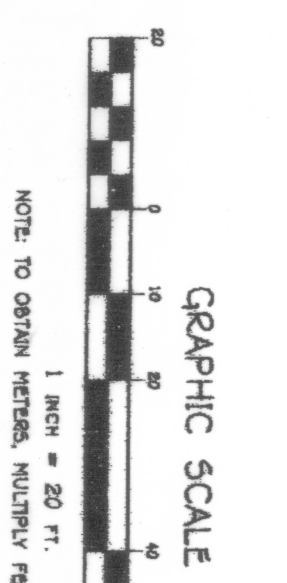
**Prepared by:**  
 Robert A. Langley  
 11/04/05

**ZONING DISTRICT: R-8**  
 MINIMUM PARCEL AREA= 0,000.50A.FT.  
 MINIMUM BUILDING SETBACKS:  
 FRONT YARD.....15 FEET  
 SIDE YARD.....7 FEET  
 REAR YARD.....30 FEET  
 MAXIMUM BUILDING HEIGHT = 35 FT.  
 MAXIMUM BUILDING COVERAGE = 30.0%

**REFERENCES:**  
 1. PLAT 9, TOWN OF JAMESTOWN, RHODE ISLAND, ASSESSOR'S PLAT 9, LOT 307, 2005, 11/04/05.  
 2. PLAT 9, TOWN OF JAMESTOWN, RHODE ISLAND, ASSESSOR'S PLAT 9, LOT 537, 2005, 11/04/05.  
 3. PLAT 9, TOWN OF JAMESTOWN, RHODE ISLAND, ASSESSOR'S PLAT 9, LOT 537, 2005, 11/04/05.  
 4. PLAT 9, TOWN OF JAMESTOWN, RHODE ISLAND, ASSESSOR'S PLAT 9, LOT 537, 2005, 11/04/05.

**TOWN OF JAMESTOWN**  
 FINAL APPROVAL  
 ADMINISTRATIVE SUBDIVISION  
 DATE: 11/04/05  
 BY: Robert A. Langley

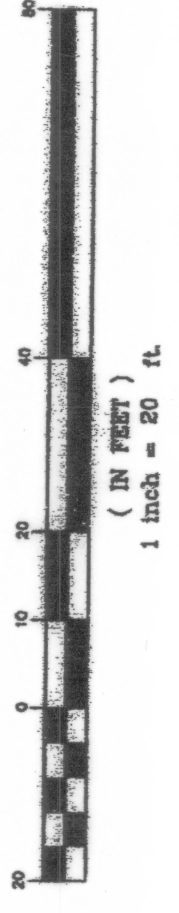
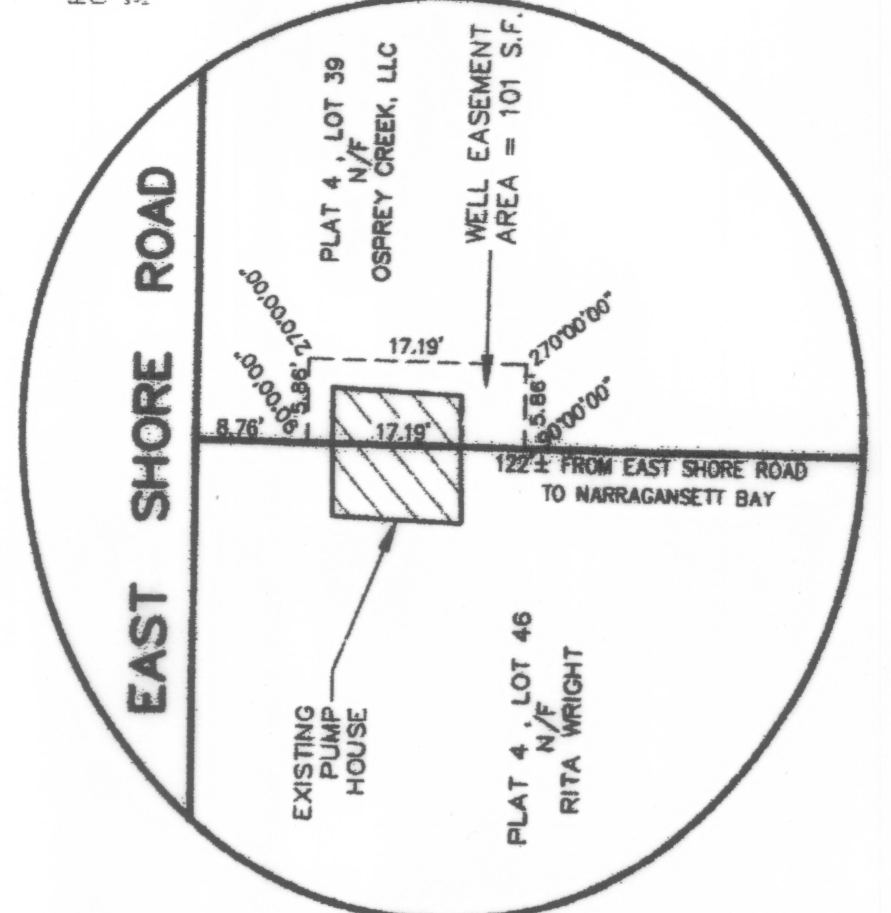
**ADMINISTRATIVE SUBDIVISION PLAN**  
 SHOWING LAND BEING CONVEYED FROM  
**BEVERLY A. LANGE**  
 ASSESSOR'S PLAT 9 / LOT 307  
 TO  
**DORIS R. ARTHUR**  
 ASSESSOR'S PLAT 9 / LOT 537  
 SITUATED IN THE TOWN OF  
 JAMESTOWN, RHODE ISLAND  
 DATE: OCT. 11, 2005; SCALE: 1"=20'  
 PREPARED BY:  
**EASTBROOKS & ASSOCIATES**  
 790 BOSTON NEBR. ROAD (NARRAGANSETT), RI 02886



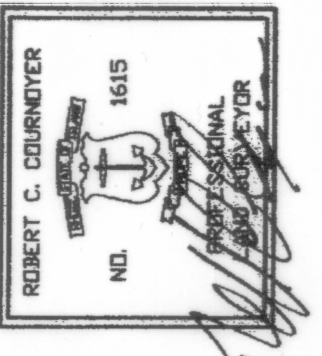
THIS SURVEY IS A CORRECTION TO A CLASS I SURVEY OF BEVERLY A. LANGE, LICENSE NO. 1912, DATED 08/11/05. THE CORRECTION IS NECESSARY TO CORRECT AN ERROR IN THE ORIGINAL SURVEY. THE CORRECTION IS BASED ON A RE-SURVEY OF THE PROPERTY BY ME AND MY ASSISTANT, JAMES H. ADAMS, ON 10/11/05.

DRAWING NO. BUDNICK	REVISED	SCALE: 1" = 20'
SHEET NO. 1 OF 1	DATE: MAY 10, 2005	DRAWN BY: MICHAEL R. DARVEAU
PLAN OF LAND OWNED BY <b>OSPREY CREEK, LLC</b> PLAT 4, LOT 39 486 EAST SHORE ROAD JAMESTOWN, RHODE ISLAND PHONE 401-826-8811 FAX 401-826-8812		
RC COURNOYER ENTERPRISES, INC. 297 COWSETT AVENUE SUITE 7 WEST WARWICK, R.I. 02893		

DETAIL "A"  
NOT TO SCALE



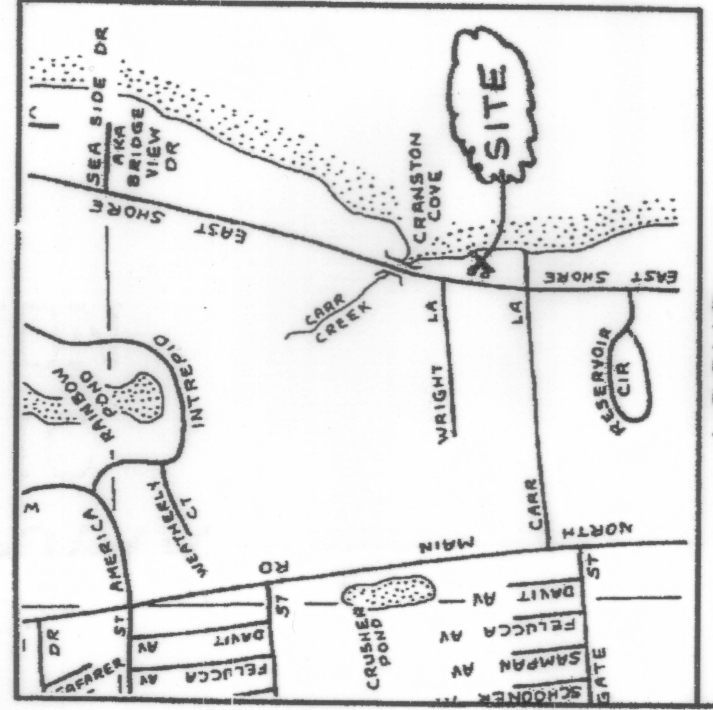
DATE: 5/20/05  
 BY: Robert C. Cournoyer, PLS#1615



**NOTES:**  
 1. AREA BEING PLAT 4, LOT 39.  
 2. LOT AREA EQUALS 13,760± S.F.  
 3. SEE DEED BOOK 411 AT PAGE 239 FOR TITLE REFERENCE  
 4. SEE DEED BOOK 421 AT PAGE 62 FOR WELL EASEMENT.

**LEGEND**  
 GB GRANITE BOUND  
 FND FOUND  
 N/F NOW OR FORMERLY  
 S.F. SQUARE FEET

NOT TO SCALE



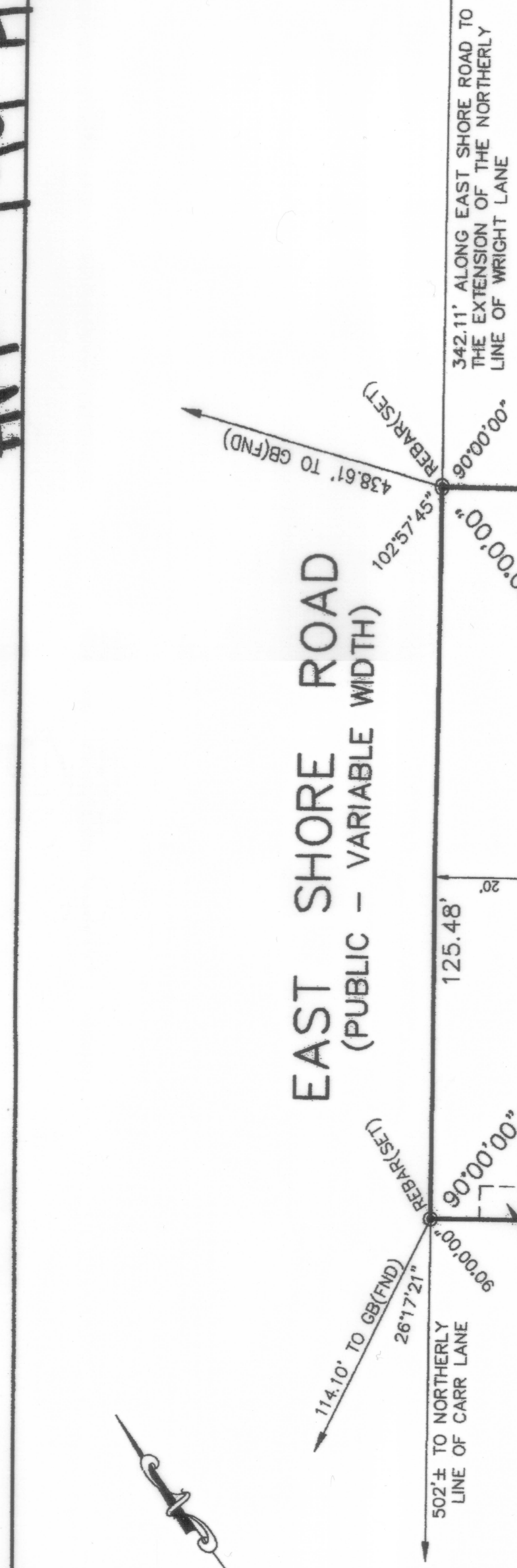
EAST SHORE ROAD  
(PUBLIC - VARIABLE WIDTH)

NARRAGANSETT BAY

PLAT 4, LOT 44  
N/F  
EAST PASSAGE LOT  
OWNERS ASSOCIATION

PLAT 4, LOT 46  
N/F  
RITA WRIGHT

EAST SHORE ROAD



BKF 550 PG. 328  
 UNIT 2026