

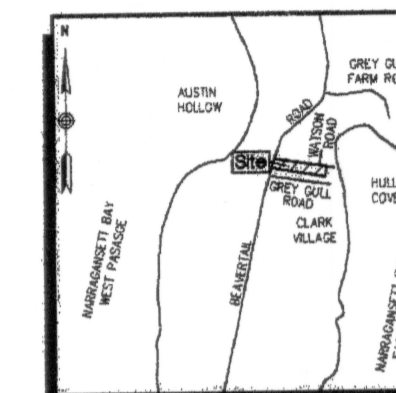
HPF 196A

VHIB

Vanasse Hangen Brustlin, Inc.
Transportation

Land Development
Environmental Services

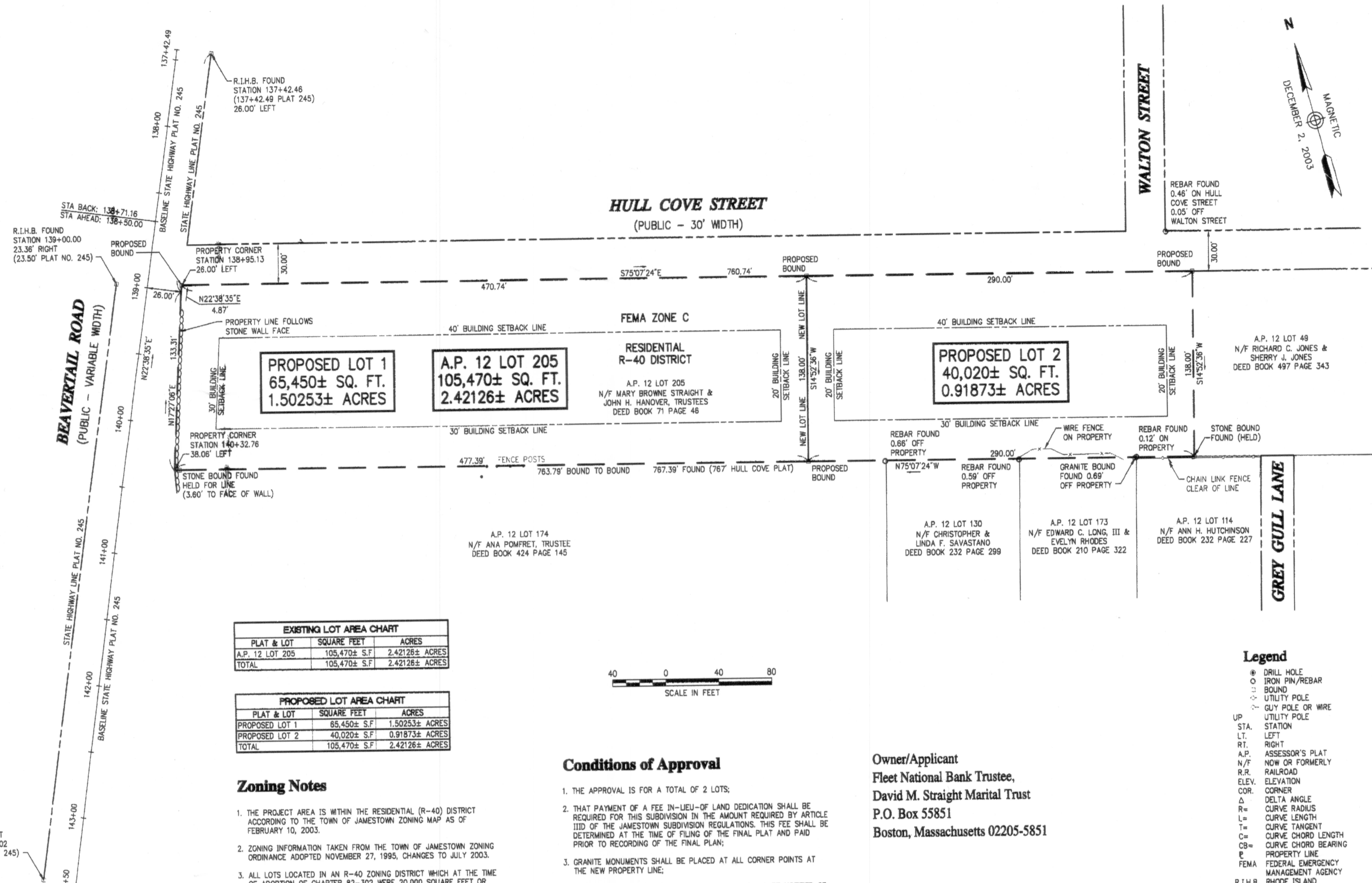
530 Broadway
Providence, Rhode Island 02909
401 272 8100 • FAX 401 273 9694



LOCUS MAP
NOT TO SCALE

RECEIVED FOR REVISION
01/12/2004 10:15:00 AM
JAMESTOWN TOWN CLERK
KYLE R. PETTIT

Index By:
Beavertail Road and
Hull Cove Street

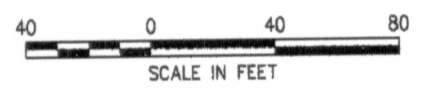


EXISTING LOT AREA CHART

PLAT & LOT	SQUARE FEET	ACRES
A.P. 12 LOT 205	105,470± S.F.	2.42126± ACRES
TOTAL	105,470± S.F.	2.42126± ACRES

PROPOSED LOT AREA CHART

PLAT & LOT	SQUARE FEET	ACRES
PROPOSED LOT 1	65,450± S.F.	1.50253± ACRES
PROPOSED LOT 2	40,020± S.F.	0.91873± ACRES
TOTAL	105,470± S.F.	2.42126± ACRES



Zoning Notes

- THE PROJECT AREA IS WITHIN THE RESIDENTIAL (R-40) DISTRICT ACCORDING TO THE TOWN OF JAMESTOWN ZONING MAP AS OF FEBRUARY 10, 2003.
- ZONING INFORMATION TAKEN FROM THE TOWN OF JAMESTOWN ZONING ORDINANCE ADOPTED NOVEMBER 27, 1995. CHANGES TO JULY 2003.
- ALL LOTS LOCATED IN AN R-40 ZONING DISTRICT WHICH AT THE TIME OF ADOPTION OF CHAPTER 82-302 WERE 20,000 SQUARE FEET OR LESS IN AREA SHALL BE GOVERNED BY THE DISTRICT DIMENSIONAL REQUIREMENTS SET FORTH IN TABLE 3-2 FOR THE R-20 ZONING DISTRICT; PROVIDED, NEVERTHELESS, THAT THE MINIMUM LOT SIZE SET FORTH IN SUCH TABLE 3-2 FOR THE R-20 ZONING DISTRICT SHALL NOT APPLY TO SUCH LOTS.
- THE PARCEL IS WITHIN ZONE-C; AREAS OF MINIMAL FLOODING (NO SHADING); AS SHOWN ON FIRM; THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF JAMESTOWN, RHODE ISLAND, NEWPORT COUNTY, COMMUNITY PANEL NO. 445399 0003D, PANEL 1 OF 3, MAP REVISED: JUNE 16, 1992.

Conditions of Approval

- THE APPROVAL IS FOR A TOTAL OF 2 LOTS;
- THAT PAYMENT OF A FEE IN-LIEU-OF LAND DEDICATION SHALL BE REQUIRED FOR THIS SUBDIVISION IN THE AMOUNT REQUIRED BY ARTICLE III.D OF THE JAMESTOWN SUBDIVISION REGULATIONS. THIS FEE SHALL BE DETERMINED AT THE TIME OF FILING OF THE FINAL PLAT AND PAID PRIOR TO RECORDING OF THE FINAL PLAN;
- GRANITE MONUMENTS SHALL BE PLACED AT ALL CORNER POINTS AT THE NEW PROPERTY LINE;
- THE COASTAL RESOURCE MANAGEMENT COUNCIL SHALL BE NOTIFIED OF ANY WORK WITHIN THE JURISDICTIONAL LIMIT OF THE CRMC;
- THE PLANNING COMMISSION DELEGATES FINAL REVIEW TO THE TOWN PLANNER WITH THE SIGNATURE OF THE PLANNING CHAIR TO APPEAR ON THE FINAL RECORD PLAN;
- THE PROPERTY LINE PLAN AND THE GRADING PLAN SHALL BE APPROVED AND RECORDED WITH THE TOWN CLERK;
- THE APPROVED GRADING PLAN SHALL BE RECORDED WITH THE DEED TO EACH PROPERTY;
- THE OWNER OF EACH LOT SHOULD SUBMIT AN AS-BUILT SURVEY, SUBSEQUENT TO LOT DEVELOPMENT THAT INCLUDES THE FINISH GRADING ON THE SUBJECT LOTS, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL;
- IT SHALL BE VERIFIED THAT THE LOCATION OF THE WELL ON PLAT 12, LOT 174 IS OUTSIDE THE DEM 100' FOOT MINIMUM SEPARATION FROM THE PROPOSED ISDS. THE WELL LOCATION SHALL BE SHOWN ON THE FINAL GRADING PLAN;
- THIS APPROVAL SHALL BE RECORDED WITH THE TOWN CLERK WITHIN 30 DAYS OF RECEIPT AND THE PROOF OF SUCH RECORDING PROVIDED TO THE TOWN PLANNER; AND
- THIS APPROVAL SHALL EXPIRE ONE YEAR FROM THE DATE OF APPROVAL BY THE PLANNING COMMISSION UNLESS GRANTED FINAL APPROVAL.

Owner/Applicant
Fleet National Bank Trustee,
David M. Straight Marital Trust
P.O. Box 55851
Boston, Massachusetts 02205-5851

Notes

- WETLAND EDGE VERIFICATION: COASTAL RESOURCES MANAGEMENT COUNCIL (CRMC) FILE # W2004-06-063.
- LOT 1 WATER TABLE VERIFICATION: RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) OFFICE OF WATER RESOURCES FILE # 0315-2828. LOT 2 FILE # 0415-1837.

Plan References

- WILLIAM E.L. TUCK LAND, JAMESTOWN, R.I. SCALE 1"=80' R.J. EASTON & SON, C.E., NEWPORT, R.I. NOV. 18, 1920. (HPF 254B)
- "HULLCOVE" - PROPERTY OF BEAVER TAIL PARK COMPANY, JAMESTOWN, R.I. SCALE 1"=80' R.J. EASTON & SON, C.E., NEWPORT, R.I. JAN. 26, 1921. (HPF 254B)
- GREY GULL VILLAGE, BEAVER TAIL ROAD, JAMESTOWN, R.I. BELONGING TO EVERETT WHIGSON & WIFE. JULY 1948. SCALE 1"=50'. (HPF 297B)

Legend

- DRILL HOLE
- IRON PIN/REBAR
- BOUND
- UTILITY POLE
- GUY POLE OR WIRE
- UP UTILITY POLE
- STA. STATION
- L.T. LEFT
- R.T. RIGHT
- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- R.R. RAILROAD
- ELEV. ELEVATION
- COR. CORNER
- Δ DELTA ANGLE
- R= CURVE RADIUS
- L= CURVE LENGTH
- T= CURVE TANGENT
- C= CURVE CHORD LENGTH
- CB= CURVE CHORD BEARING
- PROPERTY LINE
- FEDERAL EMERGENCY MANAGEMENT AGENCY
- FEMA
- RHODE ISLAND HIGHWAY BOUND
- WIRE FENCE
- CHAIN LINK FENCE
- STONE WALL
- OVERHEAD WIRE
- PROPERTY LINE
- STATE HIGHWAY LINE
- TOWN LAYOUT LINE

APPROVED AS SUBMITTED
Date: 8/10/04
Richard H. Nudenberg
Planning Commission Chair
Town of Jamestown

THIS BOUNDARY SURVEY CONFORMS TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS
8/10/04
RICHARD H. NUDENBERG, P.L.S. #1807 DATE

Zoning Summary Chart

Use	Minimum Lot Size		Building Coverage	Building Height		Minimum Yards				Accessory Buildings	
	Area In Sq. Ft.	Frontage		Principal	Accessory	Front	Corner	Side	Rear	Side Lot Lines	Rear Lot Lines
RESIDENTIAL (R-40) DISTRICT											
SINGLE FAMILY DWELLING	40,000	150	25%	35	25	40	30	20	30	15	10
MULTIFAMILY DWELLING	200,000	100	25%	35	25	100	100	100	100	50	50
SCHOOL, COLLEGE, RELIG. INSTITUTION	10 ACRES	300	25%	45	40	100	100	100	100	50	50
OTHER GOVT., EDUC., INSTT. USES	80,000	200	20%	35	25	40	40	30	40	25	25
OTHER PERMITTED USES	40,000	150	25%	35	25	40	30	20	30	20	15

SEE ZONING NOTES

Final Plat Submission	Date
Final Plat Submission	12/06/04
Rezone Proposed Reassessment	11/09/04

Designed by: [Signature] Checked by: [Signature]
1:40 Prepared by: [Signature] Addressed by: [Signature]
Date: 11/04/04 Date: August 3, 2004
Project Name:

Straight Property
Hull Cove Street &
Beavertail Road
Jamestown, Rhode Island

Final
Minor Subdivision
Approval

Property Line Plan
Assessor's Plat 12
Lot 205

Richard H. Nudenberg
No. 1807
PROFESSIONAL LAND SURVEYOR
71596.17